

**AGENDA**  
**PLANNING AND ZONING COMMISSION WORK SESSION**  
City Hall, 385 South Goliad, Rockwall, Texas  
Council Chambers  
July 30, 2019  
6:00 P.M.

**CALL TO ORDER**

**OPEN FORUM**

**CONSENT AGENDA**

1. Approval of Minutes for the June 25, 2019 Planning and Zoning Commission meeting.
2. **P2019-023 (David)**  
Consider a request by Rick Bates of RLK Engineering, Inc. on behalf of William Salee of Rockwall ISD for the approval of a replat for Lot 2, Block A, Rockwall High School Addition being a 35.295-acre parcel of land currently identified as Lot 1, Block A, Rockwall High School Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 901 W. Yellow Jacket Lane, and take any action necessary.
3. **P2019-028 (David)**  
Consider a request by Matthew Gardner of Halff Associates on behalf of Carolina Molina of Alvaplast US (*SPR Packaging*) for the approval of a replat for a 43.0139-acre tract of land identified as Lot 1, Block 1, Indalloy Addition; Tract 31 of the R. Ballard Survey, Abstract No. 29; and Tract 7 of the N. Butler Survey, Abstract No. 20, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Aluminum Plant Road, and take any action necessary.

**APPOINTMENTS**

4. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

**DISCUSSION ITEMS**

5. **Z2019-014 (David)**  
Hold a public hearing to discuss and consider a request by Jake Fears, PE of Weir & Associates, Inc. on behalf of Goliad Real Estate, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant, Less than 2,000 SF, with a Drive-Through or Drive-In* on a 0.50-acre portion of a larger 2.542-acre tract of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.
6. **Z2019-015 (Korey)**  
Hold a public hearing to discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of the owner for the approval of a Specific Use Permit (SUP) for the expansion of an existing *Minor Auto Repair Garage* on a 1.1107-acre parcel of land identified as Lot 4, Block 1, Horizon Village Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 2581 Horizon Road [FM-3097], and take any action necessary.
7. **Z2019-016 (Ryan)**  
Hold a public hearing to discuss and consider approval of a text amendment to various sections of the Unified Development Code [*Ordinance No. 04-38*] and Article IX, *Fences*, of Chapter 10, *Building and Building Regulations*, of the Municipal Code of Ordinances for the purpose of updating the codes to conform to changes made by the 86<sup>th</sup> Legislative Session, and take any action necessary.
8. **P2019-029 (Korey)**  
Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Jen-Liang Wu of Unison Investment for the approval of a master plat for the Northgate Subdivision being a 61.45-acre tract of

land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, located at the southwest corner of the intersection of Stodgell Road [FM-3549] and Clem Road, and take any action necessary.

**9. P2019-030 (Korey)**

Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Jen-Liang Wu of Unison Investment for the approval of a preliminary plat for the Northgate Subdivision containing 61 single-family residential lots on a 61.45-acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, located at the southwest corner of the intersection of Stodgell Road [FM-3549] and Clem Road, and take any action necessary.

**10. SP2019-027 (Korey)**

Discuss and consider a request by Russell Phillips of Horizon Road Self Storage, LLC for the approval of a site plan for a *Mini-Warehouse* facility on a 7.489-acre tract of land identified as Lot 23, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally situated north of Horizon Road and east of Ranch Trail Road, and take any action necessary.

**11. SP2019-028 (Korey)**

Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Jen-Liang Wu of Unison Investment for the approval of a site plan for the Northgate Subdivision being a 61.45-acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, located at the southwest corner of the intersection of Stodgell Road [FM-3549] and Clem Road, and take any action necessary.

**12. SP2019-029 (David)**

Discuss and consider a request by Michael Bausch on behalf of the owner for the approval of a site plan for an addition to an existing *General Personal Service* business (*i.e. Jour Salon and Spa*) on a 4.211-acre tract of land identified as Lot C, Block 117, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, addressed as 501 S. Goliad Street, and take any action necessary.

**13. Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).**

- ✓ P2019-011: Final Plat for Lot 1, Block A, Devoll Place Addition [Approved]
- ✓ P2019-026: Preliminary Plat for Lots 1-5, Block A, Park Station Addition [Approved]
- ✓ MIS2019-012: Alternative Tree Mitigation for Townplace Suites [Approved]
- ✓ SP2019-014: Variance for Retail Shopping Center and House of Worship [Approved]

**ADJOURNMENT**

**14. Capital Improvements Advisory Committee Meeting (CIAC) [6:30 PM]**

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code § 55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 26<sup>th</sup> day of July 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**July 30, 2019**  
**5:00 PM**

**CALL TO ORDER**

**OPEN FORUM**

**ACTION ITEMS**

**1. SP2019-027 (Korey)**

Discuss and consider a request by Russell Phillips of Horizon Road Self Storage, LLC for the approval of a site plan for a *Mini-Warehouse* facility on a 7.489-acre tract of land identified as Lot 23, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally situated north of Horizon Road and east of Ranch Trail Road, and take any action necessary.

**2. SP2019-029 (David)**

Discuss and consider a request by Michael Bausch on behalf of the owner for the approval of a site plan for an addition to an existing *General Personal Service* business (*i.e. Jour Salon and Spa*) on a 4.211-acre tract of land identified as Lot C, Block 117, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, addressed as 501 S. Goliad Street, and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 26<sup>th</sup> day of July 2019, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**MINUTES**  
**PLANNING AND ZONING COMMISSION WORK SESSION**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**June 25, 2019**  
**6:00 P.M.**

I. CALL TO ORDER

Chairman Lyons called the meeting to order at 6:07 p.m. The Commissioners present at the meeting were, Jerry Welch, Mark Moeller, Tracey Logan, John Womble, Eric Chodun and Annie Fishman. Staff members present were Planning Director, Ryan Miller, Planning Manager, David Gonzales, Planning Coordinator, Laura Morales, City Engineer, Amy Williams, and Civil Engineer Sarah Hager.

II. OPEN FORUM

Chairman Lyons explained how Open Forum is conducted and asked if anyone wished to speak to come forward at this time.

Melba Jeffus  
1903 S. FM-549  
Rockwall, TX

Ms. Jeffus came forward and generally expressed concern in regards to a proposed site plan for a shopping mall/house of worship. She has major concerns with the traffic impact the project will cause in that area which already has tremendous traffic issues.

Judith Matherne  
1115 Signal Ridge  
Road, TX

Ms. Matherne came forward and generally expressed being in favor of the proposed shopping center she feels Rockwall is an expanding city and the concern with traffic is one that is being faced in the entire city and is part of the growth.

Dean Lanty  
216 W. Quail Run Road  
Rockwall, TX

Mr. Lanty came forward and expressed concern with the traffic issue the proposed site plan for the house of worship and shopping center will create in one of the most congested intersections in Rockwall.

Sergio Bento  
2002 S. Lakeshore Drive  
Rockwall, TX

Mr. Bento came forward and spoke in regards to the proposed house of worship/ shopping center and shared he is a Baptist pastor born in Brazil and has faced discrimination. He spoke of the concern of traffic however traffic and growth is inevitable.

Jim Alford  
635 Stafford Circle  
Rockwall, TX

Mr. Alford came forward and spoke in regard to the proposed site plan for the house of worship/retail center. He expressed concern with the traffic it will create.

64 III. CONSENT AGENDA

65 1. Approval of Minutes for the May 28, 2019 Planning and Zoning Commission meeting.

66  
67  
68 2. SP2019-015

69 Consider a request by Chris Lam, PE of Lam Consulting Engineering on behalf of Price Pointer of TCB  
70 Construction Group, LLC for the approval of a site plan for a restaurant less than 2,000 SF without a drive-  
71 through or drive-in on a 0.23-acre parcel of land identified as Block 20B of the Amick Addition, City of  
72 Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office  
73 (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed  
74 as 505 N. Goliad Street, and take any action necessary.

75  
76 3. SP2019-020

77 Consider a request by Dub Douphrate & Associates on behalf of Carla Rankin of Carla Rankin Real Estate  
78 Holdings for the approval of a site plan for an office building on a 0.29-acre tract of land identified as Tract  
79 22 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned  
80 Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District,  
81 addressed as 4035 N. Goliad Street, and take any action necessary.

82  
83 4. P2019-027

84 Consider a request by Kyle Coleman Harris of Pacheco Koch Consulting Engineers on behalf of Alton  
85 Frazier of Channell Commercial Corporation for the approval of a replat for Lot 3, Block A, Channell  
86 Subdivision Addition being a 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision  
87 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the  
88 SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take  
89 any action necessary.

90  
91 **Commissioner Chodun made a motion to approve the consent agenda. Commissioner Womble**  
92 **seconded the motion which passed by a vote of 7-0.**

93  
94 IV. APPOINTMENTS

95  
96 5. Appointment with Architectural Review Board representative to receive the Board's recommendations  
97 and comments for items on the agenda requiring architectural review.

98  
99 **Architectural Review representative gave a brief explanation concerning agenda items that were**  
100 **discussed at the Architectural Review Board meeting.**

101  
102 V. ACTION ITEMS

103  
104 6. SP2019-014

105 Discuss and consider a request by Ahmed Helaluzzaman on behalf of Abdul Latif Khan of Center for  
106 Peace and Mercy, Inc. for the approval of a site plan for a *retail shopping center and house of worship* on  
107 a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64,  
108 City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic  
109 Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of  
110 Turtle Cove Boulevard and Ridge Road [FM-740], and take any action necessary.

111  
112 **Planning Director, Ryan Miller, provided a brief explanation and background in regard to the case.**  
113 **The applicant is requesting approval of a site plan for a retail shopping center and house of**  
114 **worship on a tract of land that is currently vacant. According to the Unified Development Code, a**  
115 **house of worship and retail shopping center are both permitted by-right on properties zoned**  
116 **Commercial District and no additional approvals are necessary with regard to land use. With the**  
117 **exception of the variances being requested the submitted site plan, landscape plan, treescape**  
118 **plan, photometric plan, and building elevations generally conform to the technical requirements**  
119 **contained within the UDC for a property. Additionally according to the treescape plan submitted**  
120 **by the applicant, there are 48 caliper-inches of primary protected trees and 113 caliper-inches of**  
121 **secondary protected trees being removed (i.e. a total of 161-caliper-inches in order to develop the**  
122 **site. Of the total number of trees, 125 caliper-inches require mitigation, which will be satisfied by**  
123 **landscaping being planted on site. Additionally according to the Unified Development Code the**  
124 **Commercial District is the proper zoning classification for most types of commercial development**  
125 **and generally consists of large shopping centers at major intersection, and commercial shopping**  
126 **centers along arterial roadways. Areas should not be zoned Commercial District unless they are**

127 located close to an arterial or a major collector. The Unified Development Code goes on to state  
128 that since the Commercial District is general in nature, the development standards are less  
129 stringent and do not require as high of standards of development as the Residential Office,  
130 Neighborhood Services, and the General Retail Districts. When adjacent to neighborhoods the  
131 area should have adequate buffering between the Commercial District and the residential  
132 development. In this case, the proposed uses are allowed by-right in a Commercial District and  
133 is also located in close proximity to Ridge Road, which is a major collector. Given the proposed  
134 use, zoning district, and its proximity to a major collector, the applicant's request appears to  
135 conform to the development standards as stipulated in the Unified Development Code with regard  
136 to development standards within the Commercial District. The Scenic Overlay District requires  
137 90% primary materials and 20% natural stone. Additionally, all structures that have a footprint of  
138 6,000 square feet or less require a pitched roof. The Scenic Overlay District also requires four  
139 sided architecture and that all rooftop mechanical equipment to be screened by an architectural  
140 feature that is integral to the building's design. The building elevations submitted by the applicant  
141 appear to conform to the requirements stipulated in the Unified Development Code with regard to  
142 exterior building materials. The proposed building will be 4,535 square feet and will utilize a flat  
143 roof system and since this does not conform to the requirements of the Unified Development Code  
144 an exception is required. The Planning and Zoning Commission has approved similar requests.  
145 Additionally, although the building elevations seem to generally conform to the four sided  
146 architecture requirements, the proposed building elevations show a portion of the rooftop  
147 mechanical equipment. The applicant has provided a line-of sight-study showing that the  
148 mechanical equipment will not be visible from the property line. The Unified Development Code  
149 requires any commercial use or parking lot that has a side or rear contiguous to a residential  
150 district to be screened with a masonry fence. As an alternative, berms in conjunction with a  
151 minimum six foot wrought iron fence and a combination of trees and shrubs can be utilized to  
152 meet this requirement, should the Planning and Zoning Commission determine that the proposed  
153 alternative will provide sufficient screening. In this case, the subject property is adjacent to the  
154 Turtle Cove Subdivision and the applicant is proposing to utilize six foot tall wrought iron fence  
155 in conjunction with a combination of trees and landscaping to provide screening from the adjacent  
156 neighborhood.  
157

158 Mr. Miller further noted that based on the information submitted by the applicant, staff has  
159 identified a variance to the requirements of the Unified Development Code for Architectural  
160 Standards and Road Design Standards. According to the Unified Development Code, all structures  
161 having a footprint of less than 6,000 square feet shall be constructed of a pitched roof. The  
162 proposed house of worship/retail shopping center will utilize a flat roof system and since this does  
163 not conform to the requirements of the Unified Development Code, a variance is required. This  
164 variance is a discretionary decision for the Planning and Zoning Commission and requires  
165 approval by a ¾ majority. In the event that the variance is denied, the applicant has the ability to  
166 appeal the Planning and Zoning Commission's decision to the City Council by filing a written  
167 request with the Planning and Zoning Department.  
168

169 Mr. Miller advised the Commission that the applicant was present and available for questions as  
170 well as staff.  
171

172 Chairman Lyons asked for questions from the Commission.  
173

174 Commissioner Chodun asked what criteria could be utilized in considering approval or denial of  
175 a site plan. Mr. Miller went over the Unified Development Codes requirements set forth in  
176 evaluating a site plan.  
177

178 Commissioner Fishman asked if the pitched roof requirement has been waived in the past for any  
179 other buildings in the area. Mr. Miller indicated it has been waived several instances along this  
180 corridor. Commissioner Logan asked if it met all fire codes in regards to access. Mr. Miller stated  
181 it met the International Fire Code.  
182

183 Chairman Lyons asked if based on the location and concern with traffic that was brought up, could  
184 a traffic impact analysis be requested. Mr. Miller explained that a traffic analysis could be  
185 requested by the Planning and Zoning Commission either at time of site plan or final plat.  
186 Commissioner Womble asked if one has been requested before on such a small building. Mr. Miller  
187 indicated a TIA has not been requested before by the Commission on a building of this size.  
188

189 Chairman Lyons asked the applicant to come forward and speak.

190  
191 Naim Khan  
192 2105 Canyon Creek  
193 Garland, TX

194  
195 Mr. Khan came forward and indicated he was the civil engineer for the project and was available  
196 for questions from the Commission.

197  
198 Commissioner Welch asked what the expected hours of operation for the house of worship would  
199 be. Mr. Khan shared that the main congregation hours will be Fridays from 1:30 p.m. to 2:30 p.m.  
200 however individual people can come and go throughout the day.

201  
202 Commissioner Chodun asked if any prospective tenants for the retail portion had pre-leased yet.  
203 Mr. Khan indicated he was unaware of any that had at this time.

204  
205 Chairman Lyons brought the item back to the Commission for discussion or action.

206  
207 Extensive general discussion took place between the Commission in regards to the concern with  
208 traffic and should a Traffic Impact Analysis be requested, hours of operation regarding the hour  
209 of prayer that takes place daily and the variance to the pitch roof that is being requested.

210  
211 Chairman Lyons made a motion to postpone the case pending a Traffic Impact Analysis.  
212 Commissioner Fishman seconded the motion. The motion failed to pass with a vote of 5-2 with  
213 Commissioners Womble, Logan, Chodun, Welch, and Moeller dissenting.

214  
215 Commissioner Chodun made a motion to approve SP2019-014 with staff recommendations and  
216 variances requested. Commissioner Womble seconded the motion which passed by a vote of 5-2  
217 with Chairman Lyons and Commissioner Fishman dissenting.

218  
219  
220 7. MIS2019-005

221 Discuss and consider a request by Michael Duval of G & A Consultants on behalf of John Delin of R. W.  
222 Ladera, LLC for the approval of an *Alternative Tree Mitigation Settlement Agreement* for a 28.011-acre  
223 parcel of land identified as a Tract 5 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall,  
224 Rockwall County, Texas, zoned Planned Development District 85 (PD-85), situated within the 205 By-  
225 Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast  
226 corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.

227  
228 Planning Manager, David Gonzales, provided a brief explanation and background of the request.  
229 The applicant is requesting an *Alternative Tree Mitigation Settlement Agreement* in conjunction  
230 with the Ladera of Rockwall Addition for the purpose of offsetting a portion of the required tree  
231 mitigation. Specifically, the applicant is requesting relief associated with the trees (i.e. 699.5-  
232 caliper inches of trees) that will be removed to construct an off-site, 12-inch sanitary sewer line  
233 that will serve the development. On June 26, 2018, the Planning and Zoning Commission approved  
234 an amended treescape plan allowing for the removal of an additional 977.75-caliper inches that  
235 were associated with the construction of this sanitary sewer line. This approval brought the total  
236 mitigation balance due to 1,443.25 caliper-inches. On March 12, 2019, a revised treescape plan  
237 was submitted with the final plat application indicating the need for the removal of an additional  
238 283.5-caliper inches of tree to allow the installation of the 12-inch sanitary sewer line. This  
239 increased the total mitigation balance due to 1,726.75-caliper inches. Currently, the applicant's  
240 approved mitigation plan calls for providing all 1,726.75-caliper inches on-site. The applicant's  
241 proposal requests that the City Council consider one of two alternatives. Those being option one,  
242 that the City Council waive the 699.5-caliper inches associated with the offsite installation of the  
243 12-inch sanitary sewer line; or, option two, that the City Council consider reducing the tree  
244 mitigation balance associated with the off-site improvements by ½ the amount (i.e. 349.75-caliper  
245 inches). This balance would then be donated to the Parks Department to save the applicant the  
246 expense of planting and caring for the trees on-site. If the City Council does not approve one of  
247 the two alternatives, the applicant has stated that they intend to provide the full balance to the  
248 Parks Department to be used in other areas of the City.

249

250 Mr. Gonzales further noted that according to the Unified Development Code, the City Council,  
251 upon recommendation from the Planning and Zoning Commission, may consider an Alternative  
252 Tree Mitigation Settlement Agreement where, due to hardship, the applicant is unable to meet the  
253 requirements of this article or where it is determined that adherence to the tree mitigation  
254 requirements will create a hardship for an applicant.

255  
256 Mr. Gonzales indicated that the applicant was present and available for questions as well as staff.

257  
258 Chairman Lyons asked the applicant to come forward.

259  
260 John Delin  
261 361 W. Byron Nelson Blvd. Suite 104  
262 Roanoak, TX

263  
264 Mr. Delin came forward and provided additional comments pertaining to the request.

265  
266 Chairman Lyons brought the item back to the Commission for discussion or a motion. General  
267 discussion took place in regards to which option of the two being proposed would be the better  
268 option.

269  
270 Commissioner Welch made a motion to approve SP2019-005 with option #2. Commissioner  
271 Moeller seconded the motion which was denied by a vote of 4-3 with Commissioners Womble,  
272 Logan, Lyons and Fishman dissenting.

273  
274 Planning Director, Ryan Miller, indicated the Commission could entertain another motion since  
275 additional options were provided and a recommendation is being forwarded to City Council  
276 however that is discretionary to the Commission.

277  
278 Commissioner Logan made a motion to approve with option #3. Commissioner Chodun seconded  
279 the motion which passed by a vote of 5-2 with Commissioners Welch and Moeller dissenting.

280  
281 Chairman Lyons called a recess at 7:25 p.m.  
282 Chairman Lyons reconvened the meeting at 7:31 p.m.

283  
284 VI. DISCUSSION ITEMS

285  
286 8. P2019-026  
287 Discuss and consider a request by Bill Bricker of Columbia Development Co., LLC for the approval of a  
288 preliminary plat for Lots 1-5, Block A, Park Station Addition, being a 16.26-acre tract of land identified as  
289 a portion of Lot 1, Block 1, Indalloy Addition (7.409-acres) and Tract 31 of the R. Ballard Survey, Abstract  
290 No. 29, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1100  
291 & 1300 E. Washington Street, and take any action necessary.

292  
293 Planning Director, Ryan Miller, indicated that the case was on the discussion items because it will  
294 go before the Parks Board before it returns to the Commission for action and if it adheres to the  
295 technical requirements will be on the consent agenda on the next scheduled meeting. Mr. Miller  
296 advised the Commission that the applicant was present and was available for questions as well  
297 as staff.

298  
299 Chairman Lyons asked the applicant to come forward.

300  
301 Tom Jones  
302 5815 Meadowcrest Drive  
303 Dallas, TX

304  
305 Mr. Jones came forward and provided information pertaining to the request and indicated he was  
306 available for questions.

307  
308 There being no questions Chairman Lyons indicated the case will return to the Commission for  
309 action at the next scheduled meeting.

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9. SP2019-021

Discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Alton Frazier of Channell Commercial Corporation for the approval of an amended site plan for an existing industrial building on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.

Planning Manager, David Gonzales, indicated the applicant was present and would go over the case.

Chairman Lyons asked the applicant to come forward.

Ed Burke  
1700 Justin Road  
Rockwall, TX

Mr. Burke came forward and provided additional comments pertaining to the request. They have realigned the fire lane based on requirements from the fire department and in the process of that staff asked they create a plot plan for the entire site and they are currently working with TXDOT with the realignment of John King and staff to meet requirements. Mr. Burke indicated he was available for questions.

Mr. Gonzales added that staff is currently working with the applicant with where the storage areas will be located to make sure that those areas are properly enclosed.

Chairman Lyons asked for questions from the Commission.

There being no questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

10. SP2019-022

Discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Rockwall Assembly of God for the approval of a site plan for an addition to an existing church on a 6.210-acre tract of land identified as Lot 1, Block A, Lakes Assembly Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 901 Williams Street, and take any action necessary.

Planning Director, Ryan Miller, indicated that the applicant was present and available for questions.

Chairman Lyons asked the applicant to come forward.

Greg Wallis  
2313 Ridge Road  
Rockwall, TX

Mr. Wallis came forward and provided details pertaining to the request. They are working with Lakes Assembly who have a need for additional classroom space and therefore will be doing an expansion and providing a covered patio off the existing fellowship hall. The materials will match the existing building. Mr. Wallis indicated he was available for questions.

Mr. Miller added that the applicants request is seeking only one variance to the articulation requirement. The Architectural Review Board reviewed the case when they met earlier this evening and recommended approval.

There being no questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

11. SP2019-023

Discuss and consider a request by Jake Fears, PE of Weir & Associates, Inc. on behalf of Goliad Real Estate, LLC for the approval of a site plan for a multi-tenant retail building and restaurant on a 2.542-acre tract of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall

374 County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land  
375 uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner  
376 of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.  
377

378 **Planning Manager, David Miller, indicated that the applicant was present and would discuss**  
379 **details pertaining to the request. He added that there are various variances associated with the**  
380 **case which the Architectural Review Board will review.**  
381

382 **Chairman Lyons asked the applicant to come forward.**  
383

384 **Jake Fears**  
385 **2201 E. Lamar Blvd. Suite 200E**  
386 **Arlington, TX**

387 **Mr. Fears came forward and provided information pertaining to the request. They are proposing**  
388 **two separate building and will be seeking variances to the horizontal and vertical articulation. He**  
389 **indicated it is their intent to modify based on staffs' comments to conform to the Overlay**  
390 **standards. He indicated he was available for questions.**  
391

392 **Commissioner Fishman asked if there were any potential tenants being considered for the site.**  
393 **Mr. Fears shared that the south building possibly will be a coffee kiosk with the brand name**  
394 **Scoters and the north is being proposed for a restaurant use with the remaining to be retail.**  
395

396 **Commissioner Logan expressed concerns with the screening with one of the buildings'**  
397 **orientation will have the back of the building facing SH-205. Mr. Fears indicated they are potentially**  
398 **looking into reorienting that building. Mr. Miller added that one of the Architectural Review Boards**  
399 **comments was to reorient the front of the building.**  
400

401 **There being no further questions Chairman Lyons indicated the case will return to the**  
402 **Commission for action at the next scheduled meeting.**  
403  
404

405 12. SP2019-024

406 Discuss and consider a request by Shannon Thomas of Rockwall Friendship Baptist Church for the  
407 approval of a site plan for a church on a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr  
408 Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District,  
409 situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of  
410 Justin Road and John King Boulevard, and take any action necessary.  
411

412 **Planning Director, Ryan Miller, indicated that the applicant was present and would provide details**  
413 **pertaining to the request.**  
414

415 **Chairman Lyons asked the applicant to come forward.**  
416

417 **Tom Jones**  
418 **5815 Meadow Crest**  
419 **Dallas, TX**  
420

421 **Mr. Jones came forward and provided details in regards to the request. He shared that he will take**  
422 **the comments that the Architectural Review Board provided to the architect and work with staff**  
423 **to make needed changes before action is taken at the next meeting. He indicated he was available**  
424 **for questions.**  
425

426 **Chairman Lyons asked for questions from the Commission. There being no further questions**  
427 **Chairman Lyons indicated the case will return to the Commission for action at the next scheduled**  
428 **meeting.**  
429

430 13. SP2019-025

431 Discuss and consider a request by Matt Lucas, PE of Kimley Horn on behalf of Kevin J. Lloyd of 2424  
432 MTA Realty, LLC for the approval of a site plan for an office building on a 9.7-acre tract of land identified  
433 at Tract 15 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas,  
434 zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southwest  
435 corner of Ridge Road [FM-740] and Turtle Cove Boulevard, and take any action necessary.

436 Planning Manager, David Gonzales, stated that the Architectural Review reviewed the variance  
437 being requested and recommended recommendation for approval. He indicated that the applicant  
438 was present and available for questions.

439  
440 Chairman Lyons asked the applicant to come forward.

441  
442 Joseph Hornisher  
443 13455 Noel Road Suite 700  
444 Dallas, TX

445  
446 Mr. Hornisher came forward and indicated he was the engineer of record for the project and was  
447 available for questions.

448 Chairman Lyons asked if a Traffic Impact Analysis was done for the project. Mr. Hornisher stated  
449 that there had been one done in January of this year and in March obtained approval and in  
450 addition because they are connecting to Ridge Road which is a TXDOT roadway it was submitted  
451 to TXDOT and approved.

452  
453 There being no further questions Chairman Lyons indicated the case will return to the  
454 Commission for action at the next scheduled meeting.

455  
456 14. Director's Report of post Council meeting outcomes of Planning & Zoning cases.

- 457  
458 ✓ P2019-024: Vacating Plat for Lots 17 & 18, Block B, Lago Vista Addition [Approved]  
459 ✓ Z2019-012: Zoning Change (AG to PD) for North Gate (1<sup>st</sup> Reading) [Approved]  
460 ✓ Z2019-013: PD Development Plan in Planned Development District 32 (PD-32) (1<sup>st</sup> Reading) [Approved]

461  
462 Planning Director, Ryan Miller, provided a brief update about the outcome of the above referenced  
463 case at the City Council meeting.

464  
465  
466 VII. ADJOURNMENT

467  
468  
469 Chairman Lyons adjourned the meeting at 7:54 p.m.

470  
471  
472 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF  
473 ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

474  
475  
476  
477  
478 \_\_\_\_\_  
479 Johnny Lyons, Chairman

480 Attest:  
481  
482 \_\_\_\_\_  
483 Laura Morales, Planning Coordinator

484  
485  
486  
487 15. Capital Improvements Advisory Committee Meeting (CIAC) [6:30 PM]

488  
489 The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss  
490 any matters listed on the agenda above, as authorized by Texas Local Government Code § 55.071 (Consultation with City Attorney)  
491 or any other exception allowed under Chapter 551 of the Texas Local Government Code.  
492



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** July 30, 2019  
**APPLICANT:** Rick Bates; *RLK Engineering, Inc.*  
**CASE NUMBER:** P2019-023; *Lot 2, Block A, Rockwall High School Addition*

---

### SUMMARY

Consider a request by Rick Bates of RLK Engineering, Inc. on behalf of William Salee of Rockwall ISD for the approval of a replat for Lot 2, Block A, Rockwall High School Addition being a 35.295-acre parcel of land currently identified as Lot 1, Block A, Rockwall High School Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 901 W. Yellow Jacket Lane, and take any action necessary.

### PLAT INFORMATION

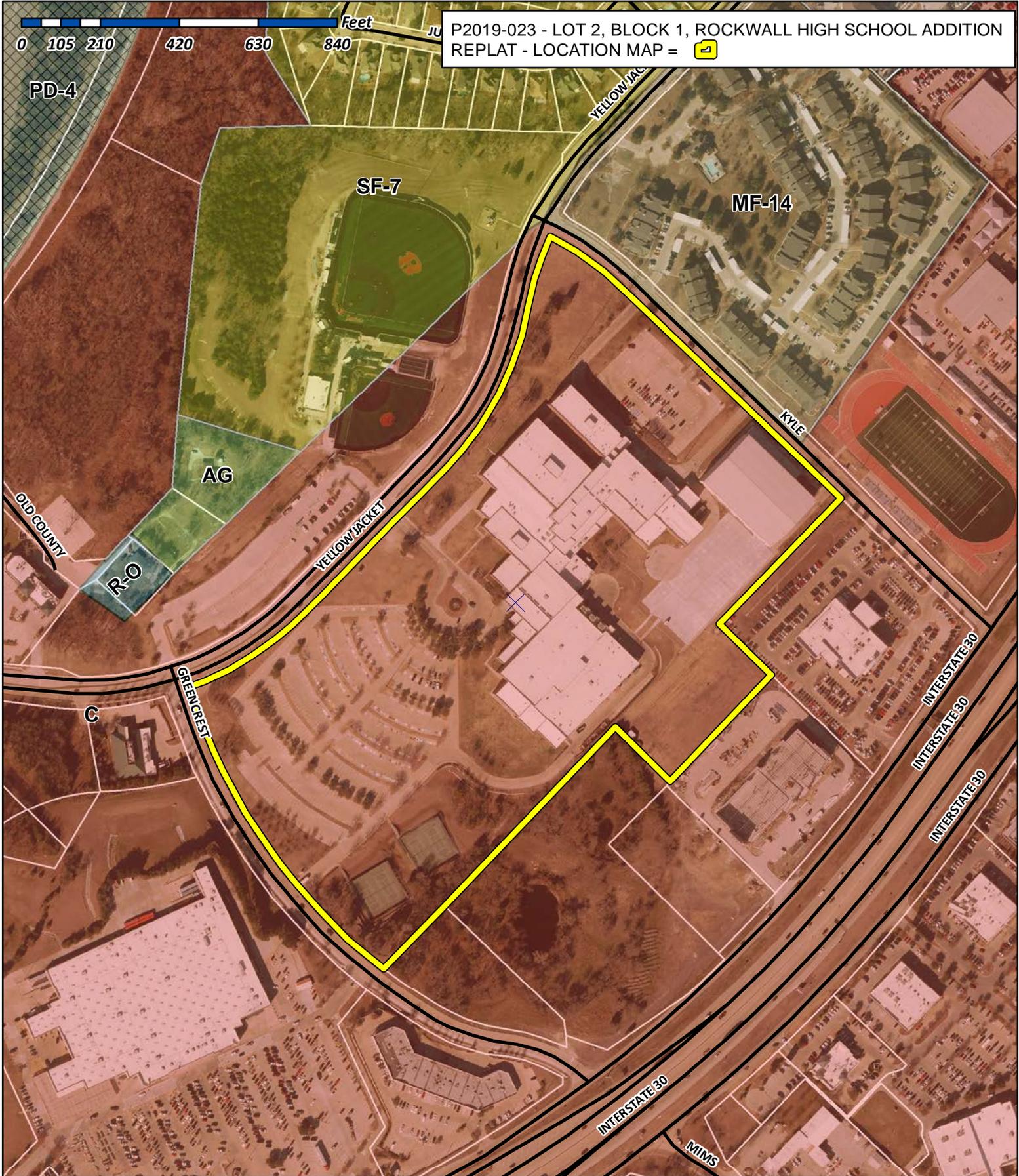
- The applicant is requesting the approval of a replat for a 35.295-acre parcel of land [i.e. *Lot 2, Rockwall High School Addition*] for the purpose of dedicating a drainage and detention easement required for the expansion of the parking lot for Rockwall High School. The 36 additional parking spaces will be constructed located along W. Yellow Jacket Lane, west of the main entrance.
- On April 20, 2019, William Salee of Rockwall ISD, requested an amended site plan [i.e. *Case NO. SP2019-008*] for the purpose of expanding the existing parking lot at Rockwall High School. On April 30, 2019, the Planning and Zoning Commission approved the site plan.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat - *conforming to the requirements for replats as stated in the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lot 2, Block A, Rockwall High School Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall

Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**City of Rockwall**  
**Project Plan Review History**



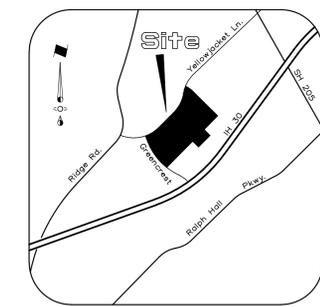
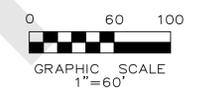
<b>Project Number</b> P2019-023	<b>Owner</b> ROCKWALL, I S D	<b>Applied</b> 5/17/2019 LM
<b>Project Name</b> Lot 2, Block A, Rockwall High School	<b>Applicant</b> RLK ENGINEERING, INC.	<b>Approved</b>
<b>Type</b> <del>REPLAT</del> REPLAT		<b>Closed</b>
<b>Subtype</b> REPLAT		<b>Expired</b>
<b>Status</b> P&Z HEARING		<b>Status</b> 7/26/2019 DG

<b>Site Address</b> 901 YELLOW JACKET LN	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
---	--	---------------

<b>Subdivision</b> ROCKWALL HIGH SCHOOL	<b>Tract</b> 1	<b>Block</b> A	<b>Lot No</b> 1	<b>Parcel No</b> 4823-000A-0001-00-0R	<b>General Plan</b>
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/17/2019	5/24/2019	5/21/2019	4	APPROVED	
ENGINEERING (7/25/2019 1:09 PM SH) - The 15' utility easement for the sewer line is to be abandoned by this plat.	Sarah Hager	5/17/2019	5/24/2019	7/25/2019	69	COMMENTS	
FIRE	Ariana Hargrove	5/17/2019	5/24/2019	7/18/2019	62	APPROVED	
GIS	Lance Singleton	5/17/2019	5/24/2019	7/16/2019	60	APPROVED	
PLANNING	David Gonzales	5/17/2019	5/24/2019	7/23/2019	67	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Consider a request by Rick Bates of RLK Engineering, Inc. on behalf of William Salee of Rockwall ISD for the approval of a replat for Lot2, Block A, Rockwall High School Addition being a 35.295-acre parcel of land currently identified as Lot 1, Block A, Rockwall High School Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 901 W. Yellow Jacket Lane, and take any action necessary.</p>						
<p>** Planning Department General Comments to be addressed:</p>						
<p>The following staff comments are to be addressed and resubmitted no later than Tuesday August 6, 2019. Please provide one (1) large copy [18" X 24" FOLDED] and one PDF version for a final review by staff:</p>						
<p>** Planning Department General Comments to be addressed:</p>						
<ol style="list-style-type: none"> <li>1. The final plat shall conform to all standards and requirements of the Unified Development Code(UDC), the staff comments provided by the Planning Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document</li> <li>2. Provide a label indicating "Case No. P2019-023" on the lower right corner on all pages of the revised final plat</li> <li>3. Correct Title Block to read as follows: Final Plat ROCKWALL HIGH SCHOOL ADDITION Lot 2, Block A, Being a Replat of Lot 1, Block A Rockwall High School Addition etc., etc, City of Rockwall, Rockwall County, Texas</li> <li>4. Correct plat label to read as Lot 2, Block A (not block 1). Additionally, include Rockwall High School Addition above Lot 2, Block A on the plat.</li> <li>5. Include the old lot information on plat (i.e. Lot 1, Block A, Rockwall High School Addition) in a lighter gray scale.</li> <li>6. Page 3 - signature block: change year to 2019 (not 2017).</li> </ol>						
<p>** As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing **</p>						
<p>** Although on this case is on the Consent Agenda, staff would recommend that you and/or your representative(s) are in attendance for this request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p>						
<p>Meeting Dates to Attend</p>						
<p>Planning - Consent Agenda: July 30, 2019 (Tuesday at 6:00 p.m.)</p>						
<p>City Council - Consent Agenda: August 5, 2019 (Monday at 6:00 p.m.)</p>						



VICINITY MAP  
NTS

**LEGEND:**  
CIRS.....1/2" Iron Set With Yellow Plastic Cap Stamped "4613"

SHEET 1 OF 3  
FINAL PLAT

# ROCKWALL HIGH SCHOOL ADDITION

LOT 2, BLOCK 1

Being A Replat Of  
Rockwall High School Addition, Lot 2, Block 1  
Recorded In Cabinet H, Page 5, P.R.R.C.T.  
35.295 Acres Situated In The  
E.P.G. CHISUM SURVEY ~ ABST. 64  
J.D. McFARLAND SURVEY ~ ABST. 145  
ROCKWALL, ROCKWALL COUNTY, TEXAS

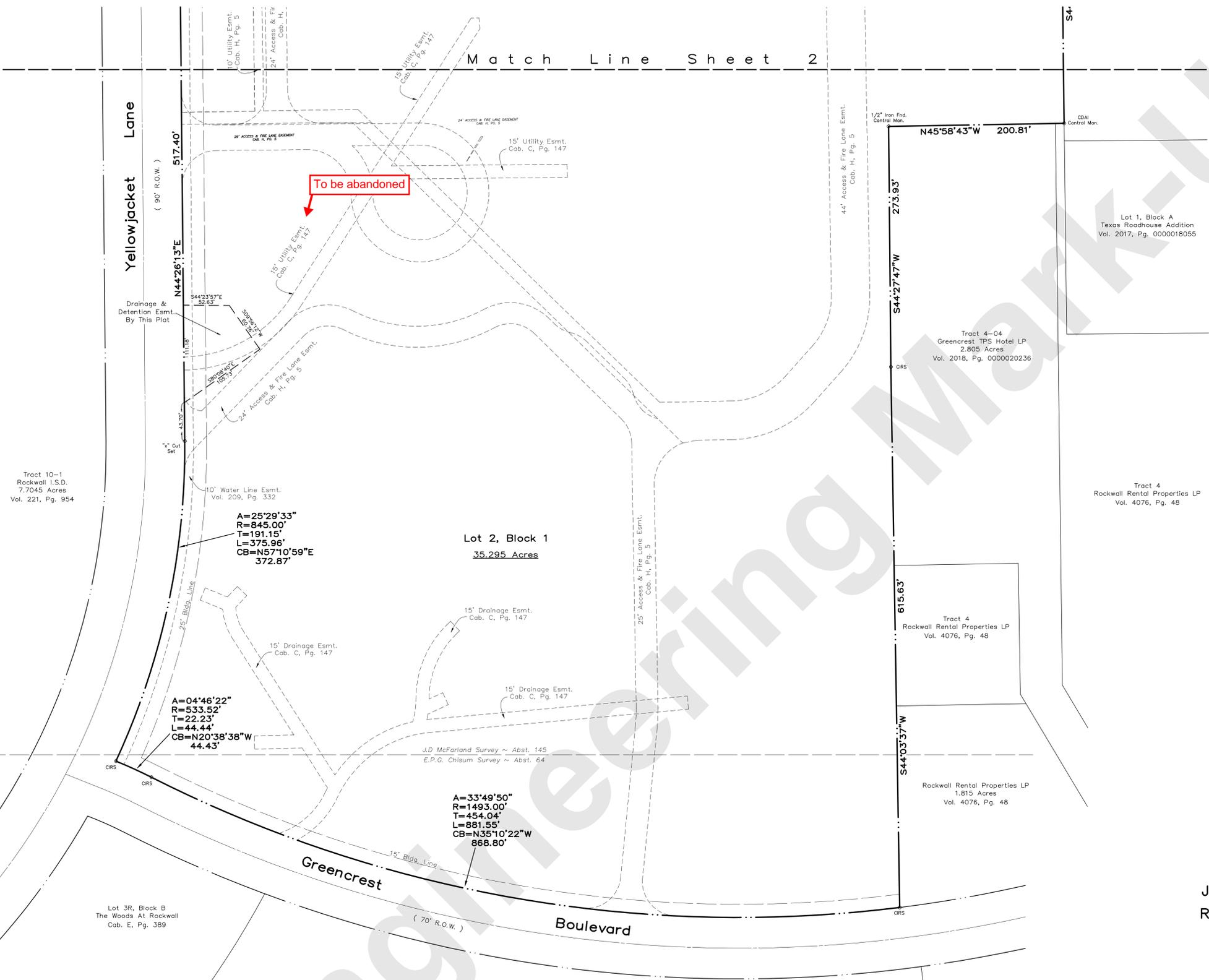
**Owner**  
Rockwall Independent School District  
1191 T.L. Townsend Drive  
Rockwall, Texas 75087  
Telephone 972 772-1148

**Engineer**  
RLK Engineering, Inc.  
Texas Registration No. 579  
111 West Main Street  
Allen, Texas 75013  
Telephone 972 359-1733

**Surveyor**  
Surdukan Surveying, Inc.  
Firm No. 10069500  
PO Box 126  
Anna, Texas 75409  
Telephone 972 924-8200

May 17, 2019

Case No. P2019-000



Tract 10-1  
Rockwall I.S.D.  
7.7045 Acres  
Vol. 221, Pg. 954

Lot 3R, Block B  
The Woods At Rockwall  
Cab. E, Pg. 389

A=25°29'33"  
R=845.00'  
T=191.15'  
L=375.96'  
CB=N57°10'59"E  
372.87'

A=04°46'22"  
R=533.52'  
T=22.23'  
L=44.44'  
CB=N20°38'38"W  
44.43'

A=33°49'50"  
R=1493.00'  
T=454.04'  
L=881.55'  
CB=N35°10'22"W  
868.80'

Lot 2, Block 1  
35.295 Acres

Lot 6, Block A  
Wal-Mart Super Center Addition  
Cab. G, Pg. 253

Lot 1, Block A  
Wal-Mart Super Center Addition  
Cab. C, Pg. 383

Rockwall Rental Properties LP  
1.815 Acres  
Vol. 4076, Pg. 48

Tract 4  
Rockwall Rental Properties LP  
Vol. 4076, Pg. 48

Tract 4-04  
Greencrest TPS Hotel LP  
2.805 Acres  
Vol. 2018, Pg. 0000020236

Tract 4  
Rockwall Rental Properties LP  
Vol. 4076, Pg. 48

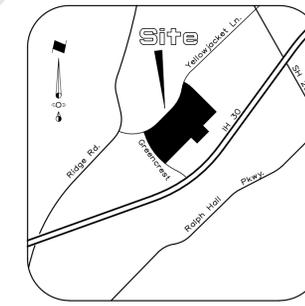
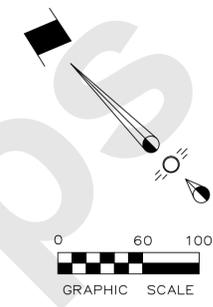
Lot 1, Block A  
Texas Roadhouse Addition  
Vol. 2017, Pg. 0000018055

**NOTE:**  
The easements shown are graphically located from the previous plats. The plat recorded in Cabinet C, Page 147 was unreadable, and the plat recorded in Cabinet H, Page 5, had a portion of the line table missing.

**PURPOSE OF REPLAT:**  
To dedicate a drainage & detention easement.

**LEGEND:**

CRS.....1/2" Iron Set With Yellow Plastic Cap Stamped "4613"



VICINITY MAP  
NTS

A=17°07'09"  
R=770.00'  
T=115.90'  
L=230.06'  
CB=S54°32'40"E  
229.21'

Lot 1, Block A  
Rockwall Place Apartments  
Cab. D, Pg. 53

Tract 16  
Rockwall I.S.D.  
6.056 Acres  
Vol. 1648, Pg. 155

Point of Beginning

Kyle Drive  
(60' R.O.W.)

S45°59'06"E 813.73'

A=14°38'12"  
R=755.00'  
T=96.96'  
L=192.87'  
CB=N17°30'09"E  
192.35'

10' Water Line Esmt.  
Vol. 209, Pg. 332

25' Access & Fire Lane Esmt.  
Cab. H, Pg. 5

15' Drainage Esmt.  
Cab. C, Pg. 147

15' Utility Esmt.  
Cab. C, Pg. 147

25' Access & Fire Lane Esmt.  
Cab. H, Pg. 5

20' Utility Esmt.  
Cab. H, Pg. 5

1/2" Iron Set With Yellow Plastic Cap Stamped "4613" State Plane Coord. N=7318484.05 E=2595818.15

Lot 2, Block 1  
Heritage BPG Addition  
Cab. G, Pg. 205

Lot 2, Block 1  
35.295 Acres

A=34°15'09"  
R=845.00'  
T=260.38'  
L=505.16'  
CB=N27°18'38"E  
497.67'

Tract 10-1  
Rockwall I.S.D.  
7.7045 Acres  
Vol. 221, Pg. 954

SHEET 2 OF 3  
FINAL PLAT

**ROCKWALL HIGH SCHOOL ADDITION**

LOT 2, BLOCK 1

Being A Replat Of  
Rockwall High School Addition, Lot 2, Block 1  
Recorded In Cabinet H, Page 5, P.R.R.C.T.

35.295 Acres Situated In The  
E.P.G. CHISUM SURVEY ~ ABST. 64  
J.D. McFARLAND SURVEY ~ ABST. 145  
ROCKWALL, ROCKWALL COUNTY, TEXAS

**Owner**  
Rockwall Independent School District  
1191 T.L. Townsend Drive  
Rockwall, Texas 75087  
Telephone 972 772-1148

**Engineer**  
RLK Engineering, Inc.  
Texas Registration No. 579  
111 West Main Street  
Allen, Texas 75013  
Telephone 972 359-1733

**Surveyor**  
Surdukan Surveying, Inc.  
Firm No. 10069500  
PO Box 126  
Anna, Texas 75409  
Telephone 972 924-8200

May 17, 2019

Case No. P2019-000

Match Line Sheet 1

**NOTE:**  
The easements shown are graphically located from the previous plats. The plat recorded in Cabinet C, Page 147 was unreadable, and the plat recorded in Cabinet H, Page 5, had a portion of the line table missing.

**PURPOSE OF REPLAT:**  
To dedicate a drainage & detention easement.

OWNER'S CERTIFICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, the Rockwall Independent School District is the owner of a tract of land situated in the E.P.G. Chisum Survey, Abstract No. 64, and the J.D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, and being all of Rockwall High School Addition, Lot 2, Block 1, as recorded in Cabinet H, Page Page 5, Plat Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner at the intersection of the southeasterly line of Yellowjacket Lane (a 90' R.O.W.) with the southwesterly line of Kyle Drive (a 60' R.O.W.) said point being the beginning of a curve to the right having a central angle of 17°07'09", a radius of 770.00 feet, a tangent length of 115.90 feet, and a chord bearing S54°32'40"E, 229.21 feet;

THENCE in a southeasterly direction along said curve to the right, and with the southwesterly line of Kyle Drive, an arc distance of 230.06 feet to a capped iron found stamped "CLO" for corner and the end of said curve;

THENCE S45°59'06"E, with the southwesterly line of Kyle Drive, a distance of 813.73 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner, said point being the northwest corner of Lot 2, Block 1, Heritage BPG Addition, an addition to the City of Rockwall as recorded in Cabinet G, Page 205, Plat Records of Rockwall County, Texas;

THENCE S44°11'14"W, leaving Kyle Drive, a distance of 463.62 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner, from which a capped iron rod stamped "HALFF" bears N34°53'08"W, 0.44';

THENCE S45°26'13"E, a distance of 200.00 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner, from which a 1/2" iron rod bears N27°44'49"W, 0.25';

THENCE S44°17'14"W, a distance of 390.29 feet to a capped iron found stamped "CDAI" for corner;

THENCE N45°58'43"W, a distance of 200.81 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner;

THENCE S44°27'47"W, a distance of 273.93 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner;

THENCE S44°03'37"W, a distance of 615.63 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner, from which a 1/2" iron rod stamped "DAI" bears N40°59'38"E, 0.31', said corner being in the northeasterly line of Greencrest Boulevard (a 70' R.O.W.), said point being the beginning of a non-tangent curve to the right having a central angle of 33°49'50", a radius of 1493.00 feet, a tangent length of 454.04 feet, and a chord bearing N35°10'22"W, 868.80 feet;

THENCE in a northwesterly direction along said curve to the right, and with the northeasterly line of Greencrest Boulevard, an arc distance of 881.55 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner, from which a 1/2" iron rod bears N40°59'38"E, 0.31', said corner being the beginning of a reverse curve to the left having a central angle of 04°46'22", a radius of 533.52 feet, a tangent length of 22.23 feet, and a chord bearing N20°38'38"W, 44.43 feet;

THENCE in a northwesterly direction along said curve to the left, and with the northeasterly line of Greencrest Boulevard, an arc distance of 44.44 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner, from which a 1/2" iron rod bears N66°47'39"E, 2.95', said corner being the end of said curve, and being in the aforementioned southeasterly line of Yellowjacket Lane and the beginning of a non-tangent curve to the left having a central angle of 25°29'33", a radius of 845.00 feet, a tangent length of 191.15 feet, and a chord bearing N57°10'59"E, 372.87 feet;

THENCE in a northeasterly direction along said curve to the left, and with the southeasterly line of Yellowjacket Lane, an arc distance of 375.96 feet to an "x" cut set for corner and the end of said curve;

THENCE N44°26'13"E, with the southeasterly line of Yellowjacket Lane, a distance of 517.40 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner, from which a 1/2" iron rod bears N72°41'18"W, 2.03 feet, said corner being the beginning of a curve to the left having a central angle of 34°15'09", a radius of 845.00 feet, a tangent length of 260.38 feet, and a chord bearing N27°18'38"E, 497.67 feet;

THENCE in a northeasterly direction along said curve to the left, and with the southeasterly line of Yellowjacket Lane, an arc distance of 505.16 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner and the beginning of a reverse curve to the right having a central angle of 14°38'12" a radius of 755.00 feet, a tangent length of 96.96 feet, and a chord bearing N17°30'09"E, 192.35 feet;

THENCE in a northeasterly direction along said curve to the right, and with the southeasterly line of Yellowjacket Lane, an arc distance of 192.87 feet to the POINT OF BEGINNING and CONTAINING 1,537,462 square feet, or 35.295 acres of land.

BASIS OF BEARINGS:

The bearings shown are derived from Texas WDS RTK Network, Texas State Plane Coordinate System, Nad83, North Central Zone, Nad 83 (CORS96) Epoch 2002.0, vertical positions are referenced using NAVD88 using (GEOID03).

GENERAL NOTES

It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer, and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance, or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

STATE OF TEXAS
COUNTY OF ROCKWALL

We, Rockwall Independent School District, the undersigned owner of the land shown on this plat, and designated Lot 2, Block 1, Rockwall High School Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever, all streets, alleys, parks, water courses, drains, easements, and public places thereon shown for the purpose and consideration therein expressed.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

- 1. No buildings shall be constructed upon, over or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other growths or improvements which in any way endanger or interfere with construction, maintenance, or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from, and upon the said easement strips for the purpose of construction, reconstruction, inspecting, patrolling, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. Property owner is responsible for maintaining, repairing, and replacing detention/drainage system.
7. No house, dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at the prevailing private commercial rates, or have been made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done, or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

Rockwall Independent School District
By:
Title:

STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office, this the \_\_\_\_\_ day of \_\_\_\_\_, 2019.

Notary Public in and for
the State of Texas

PURPOSE OF REPLAT:
To dedicate a drainage & detention easement.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, David J. Surdukan, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

David J. Surdukan, RPLS
Registration No. 4613
TX Firm No. 10069500



RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission

Date

APPROVED

I hereby certify that the above and foregoing plan of an addition to the City of Rockwall, Texas was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2017.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2019

Mayor, City of Rockwall

City Secretary

City Engineer

SHEET 3 OF 3
FINAL PLAT

ROCKWALL HIGH SCHOOL ADDITION

LOT 2, BLOCK 1

Being A Replat Of
Rockwall High School Addition, Lot 2, Block 1
Recorded In Cabinet H, Page 5, P.R.R.C.T.

35.295 Acres Situated In The
E.P.G. CHISUM SURVEY ~ ABST. 64
J.D. McFARLAND SURVEY ~ ABST. 145
ROCKWALL, ROCKWALL COUNTY, TEXAS

Owner
Rockwall Independent School District
1191 T.L. Townsend Drive
Rockwall, Texas 75087
Telephone 972 772-1148

Engineer
RLK Engineering, Inc.
Texas Registration No. 579
111 West Main Street
Allen, Texas 75013
Telephone 972 359-1733

Surveyor
Surdukan Surveying, Inc.
Firm No. 10069500
PO Box 126
Anna, Texas 75409
Telephone 972 924-8200

May 17, 2019

Case No. P2019-000

CLOSURE SHEET ROCKWALL HIGH SCHOOL

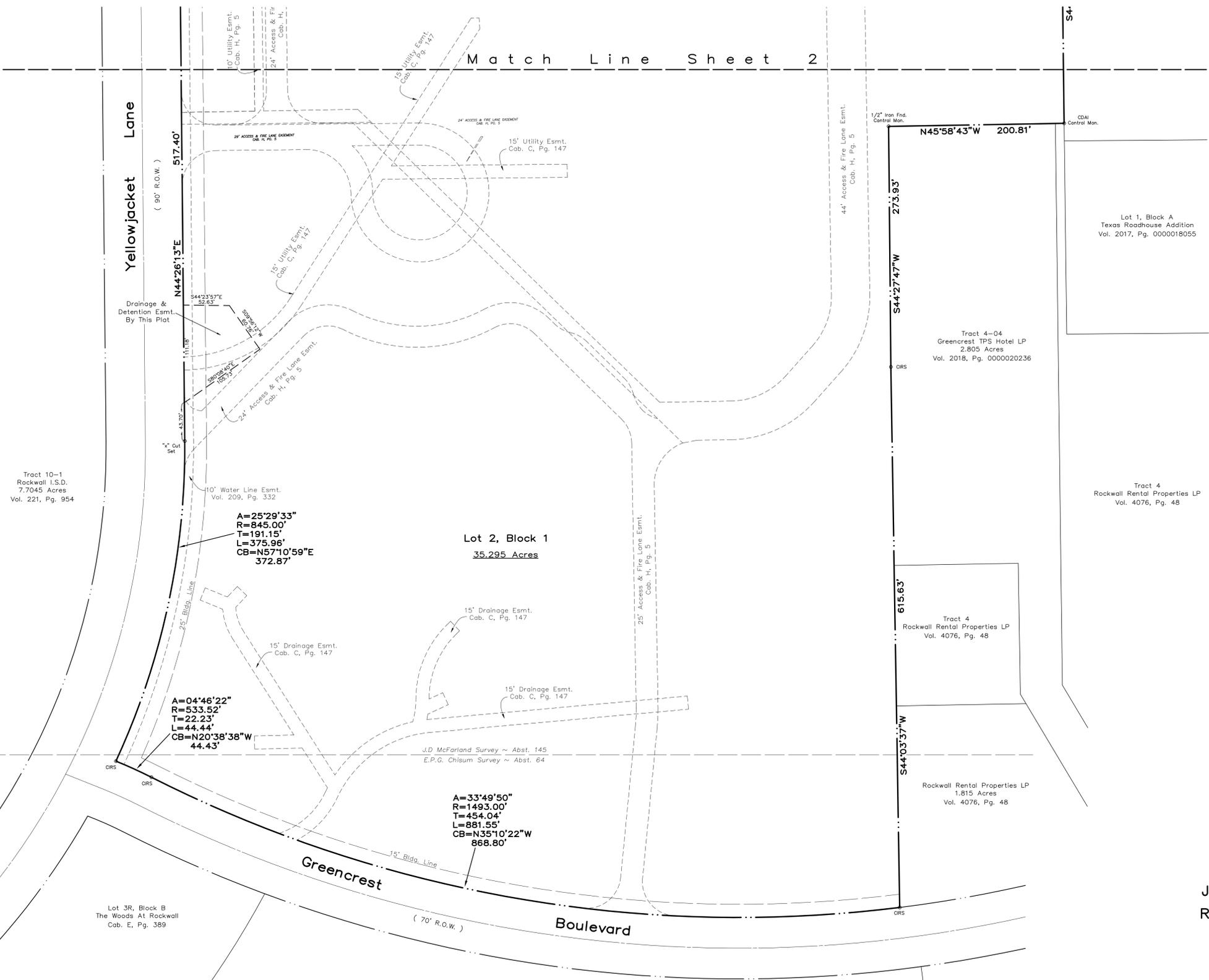
Map Check Thursday, May 16, 2019

Course	Bearing	Distance	PT#	Northing	Easting	Description
			1	7019192.43	2595046.24	Plat
CURVE	A=230.06	DELTA=17°07'09"	T=115.90	EXT=8.67		
1-3	S 54°32'40" E	229.21	3	7019059.47	2595232.95	Plat
RADIUS POINT		770.00	2	7018505.72	2594697.92	Plat
3-4	S 45°59'06" E	813.73	4	7018494.05	2595818.15	Plat
4-5	S 44°11'14" W	463.62	5	7018161.61	2595495.00	Plat
5-6	S 45°26'13" E	200.00	6	7018021.27	2595637.50	Plat
6-7	S 44°17'14" W	390.29	7	7017741.88	2595364.97	Plat
7-8	N 45°58'43" W	200.81	8	7017881.43	2595220.57	Plat
8-9	S 44°27'47" W	273.93	9	7017685.93	2595028.70	Plat
9-10	S 44°03'37" W	615.63	10	7017243.53	2594600.58	Plat
CURVE	A=881.55	DELTA=33°49'50"	T=454.04	EXT=67.51		
10-12	N 35°10'22" W	868.80	12	7017953.70	2594100.11	Plat
RADIUS POINT		1493.00	11	7018421.44	2595517.96	Plat
12-13	N 20°38'38" W	44.43	13	7017995.28	2594084.45	Plat
CURVE	A=375.96	DELTA=25°29'33"	T=191.15	EXT=21.35		
13-15	N 57°10'59" E	372.87	15	7018197.36	2594397.81	Plat
RADIUS POINT		845.00	14	7018788.96	2593794.46	Plat
15-16	N 44°26'13" E	517.40	16	7018566.79	2594760.06	Plat
CURVE	A=505.16	DELTA=34°15'09"	T=260.38	EXT=39.21		
16-18	N 27°18'38" E	497.67	18	7019008.99	2594988.40	Plat
RADIUS POINT		845.00	17	7019158.40	2594156.71	Plat
CURVE	A=192.87	DELTA=14°38'12"	T=96.96	EXT=6.20		
18-20	N 17°30'09" E	192.35	20	7019192.43	2595046.24	Plat
RADIUS POINT		755.00	19	7018875.49	2595731.50	Plat

Closure error distance > 0.007 Error Bearing > N 90°00'00" E

Closure Precision > 1 in 866278.9 Total Distance Traversed > 5705.45

1537462 Sq. Feet or 35.295 Acres



Tract 10-1  
Rockwall I.S.D.  
7.7045 Acres  
Vol. 221, Pg. 954

Lot 3R, Block B  
The Woods At Rockwall  
Cab. E, Pg. 389

Lot 6, Block A  
Wal-Mart Super Center Addition  
Cab. G, Pg. 253

Lot 1, Block A  
Wal-Mart Super Center Addition  
Cab. C, Pg. 383

Tract 4  
Rockwall Rental Properties LP  
Vol. 4076, Pg. 48

Rockwall Rental Properties LP  
1.815 Acres  
Vol. 4076, Pg. 48

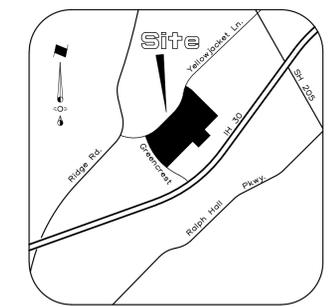
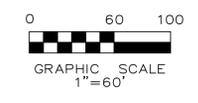
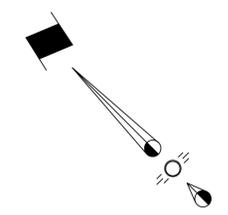
Tract 4-04  
Greencrest TPS Hotel LP  
2.805 Acres  
Vol. 2018, Pg. 0000020236

Tract 4  
Rockwall Rental Properties LP  
Vol. 4076, Pg. 48

Lot 1, Block A  
Texas Roadhouse Addition  
Vol. 2017, Pg. 0000018055

**NOTE:**  
The easements shown are graphically located from the previous plats. The plat recorded in Cabinet C, Page 147 was unreadable, and the plat recorded in Cabinet H, Page 5, had a portion of the line table missing.

**PURPOSE OF REPLAT:**  
To dedicate a drainage & detention easement.



**VICINITY MAP**  
NTS

**LEGEND:**  
CIRS.....1/2" Iron Set With  
Yellow Plastic Cap  
Stamped "4613"

SHEET 1 OF 3  
FINAL PLAT

# ROCKWALL HIGH SCHOOL ADDITION

LOT 2, BLOCK 1

Being A Replat Of  
Rockwall High School Addition, Lot 2, Block 1  
Recorded In Cabinet H, Page 5, P.R.R.C.T.  
35.295 Acres Situated In The  
E.P.G. CHISUM SURVEY ~ ABST. 64  
J.D. McFARLAND SURVEY ~ ABST. 145  
ROCKWALL, ROCKWALL COUNTY, TEXAS

**Owner**  
Rockwall Independent School District  
1191 T.L. Townsend Drive  
Rockwall, Texas 75087  
Telephone 972 772-1148

**Engineer**  
RLK Engineering, Inc.  
Texas Registration No. 579  
111 West Main Street  
Allen, Texas 75013  
Telephone 972 359-1733

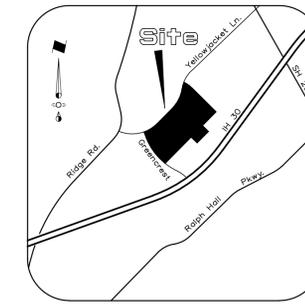
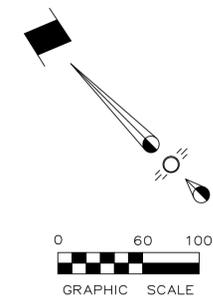
**Surveyor**  
Surdukan Surveying, Inc.  
Firm No. 10069500  
PO Box 126  
Anna, Texas 75409  
Telephone 972 924-8200

May 17, 2019

Case No. P2019-000

**LEGEND:**

CRS.....1/2" Iron Set With Yellow Plastic Cap Stamped "4613"



VICINITY MAP  
NTS

A=17'07'09"  
R=770.00'  
T=115.90'  
L=230.06'  
CB=S54°32'40"E  
229.21'

Lot 1, Block A  
Rockwall Place Apartments  
Cab. D, Pg. 53

Tract 16  
Rockwall I.S.D.  
6.056 Acres  
Vol. 1648, Pg. 155

Lot 2, Block 1  
Heritage BPG Addition  
Cab. G, Pg. 205

Tract 10-1  
Rockwall I.S.D.  
7.7045 Acres  
Vol. 221, Pg. 954

A=34°15'09"  
R=845.00'  
T=260.38'  
L=505.16'  
CB=N27°18'38"E  
497.67'

Lot 2, Block 1  
35.295 Acres

SHEET 2 OF 3  
FINAL PLAT

**ROCKWALL HIGH SCHOOL ADDITION**

LOT 2, BLOCK 1

Being A Replat Of  
Rockwall High School Addition, Lot 2, Block 1  
Recorded In Cabinet H, Page 5, P.R.R.C.T.

35.295 Acres Situated In The  
E.P.G. CHISUM SURVEY ~ ABST. 64  
J.D. McFARLAND SURVEY ~ ABST. 145  
ROCKWALL, ROCKWALL COUNTY, TEXAS

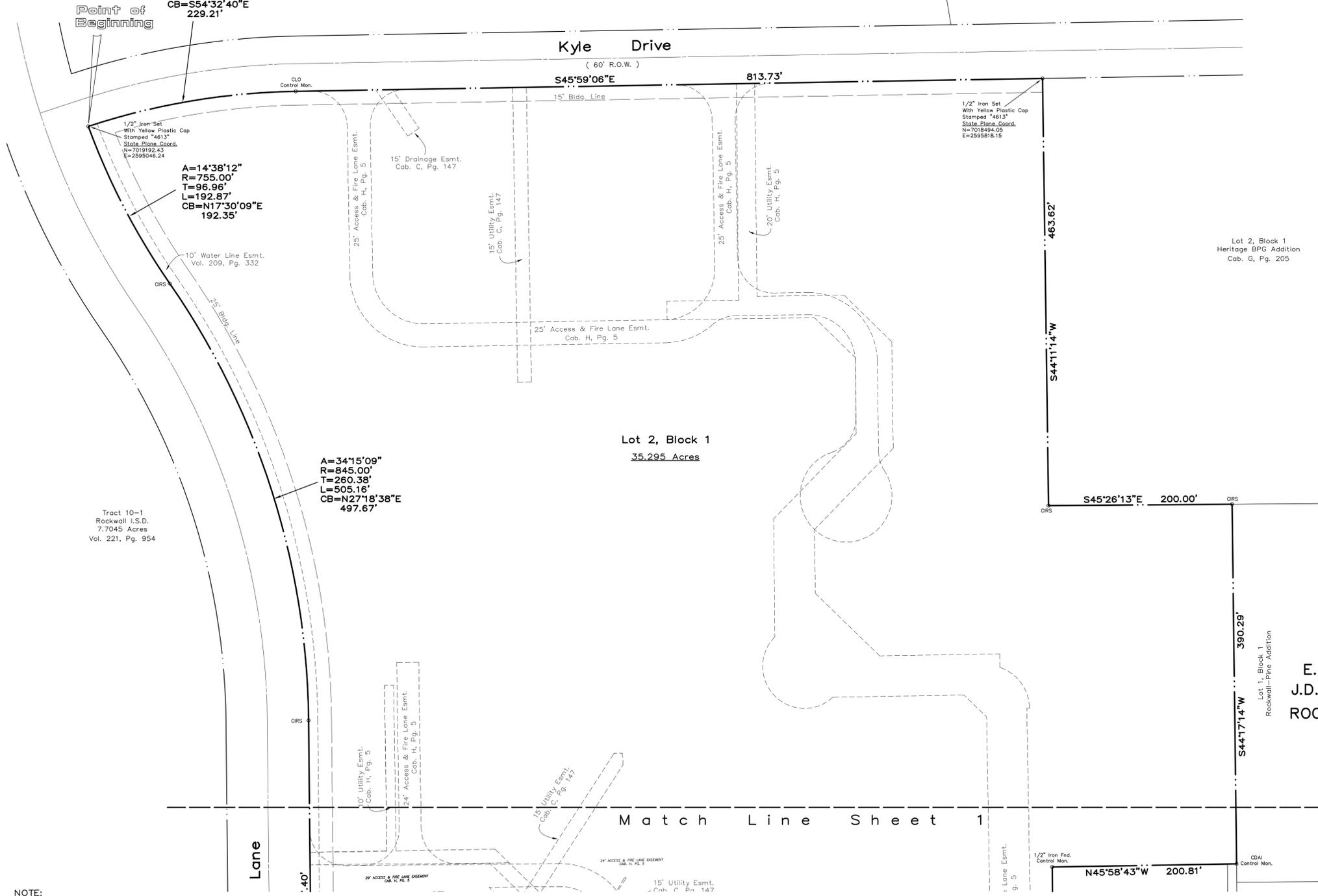
**Owner**  
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May 17, 2019

Case No. P2019-000



**NOTE:**  
The easements shown are graphically located from the previous plots. The plat recorded in Cabinet C, Page 147 was unreadable, and the plat recorded in Cabinet H, Page 5, had a portion of the line table missing.

**PURPOSE OF REPLAT:**  
To dedicate a drainage & detention easement.

OWNER'S CERTIFICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, the Rockwall Independent School District is the owner of a tract of land situated in the E.P.G. Chisum Survey, Abstract No. 64, and the J.D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, and being all of Rockwall High School Addition, Lot 2, Block 1, as recorded in Cabinet H, Page Page 5, Plat Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner at the intersection of the southeasterly line of Yellowjacket Lane (a 90' R.O.W.) with the southwesterly line of Kyle Drive (a 60' R.O.W.) said point being the beginning of a curve to the right having a central angle of 17°07'09", a radius of 770.00 feet, a tangent length of 115.90 feet, and a chord bearing S54°32'40"E, 229.21 feet;

THENCE in a southeasterly direction along said curve to the right, and with the southwesterly line of Kyle Drive, an arc distance of 230.06 feet to a capped iron found stamped "CLO" for corner and the end of said curve;

THENCE S45°59'06"E, with the southwesterly line of Kyle Drive, a distance of 813.73 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner, said point being the northwest corner of Lot 2, Block 1, Heritage BPG Addition, an addition to the City of Rockwall as recorded in Cabinet G, Page 205, Plat Records of Rockwall County, Texas;

THENCE S44°11'14"W, leaving Kyle Drive, a distance of 463.62 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner, from which a capped iron rod stamped "HALFF" bears N34°53'08"W, 0.44';

THENCE S45°26'13"E, a distance of 200.00 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner, from which a 1/2" iron rod bears N27°44'49"W, 0.25';

THENCE S44°17'14"W, a distance of 390.29 feet to a capped iron found stamped "CDAI" for corner;

THENCE N45°58'43"W, a distance of 200.81 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner;

THENCE S44°27'47"W, a distance of 273.93 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner;

THENCE S44°03'37"W, a distance of 615.63 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner, from which a 1/2" iron rod stamped "DAI" bears N40°59'38"E, 0.31', said corner being in the northeasterly line of Greencrest Boulevard (a 70' R.O.W.), said point being the beginning of a non-tangent curve to the right having a central angle of 33°49'50", a radius of 1493.00 feet, a tangent length of 454.04 feet, and a chord bearing N35°10'22"W, 868.80 feet;

THENCE in a northwesterly direction along said curve to the right, and with the northeasterly line of Greencrest Boulevard, an arc distance of 881.55 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner, from which a 1/2" iron rod bears N40°59'38"E, 0.31', said corner being the beginning of a reverse curve to the left having a central angle of 04°46'22", a radius of 533.52 feet, a tangent length of 22.23 feet, and a chord bearing N20°38'38"W, 44.43 feet;

THENCE in a northwesterly direction along said curve to the left, and with the northeasterly line of Greencrest Boulevard, an arc distance of 44.44 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner, from which a 1/2" iron rod bears N66°47'39"E, 2.95', said corner being the end of said curve, and being the in the aforementioned southeasterly line of Yellowjacket Lane and the beginning of a non-tangent curve to the left having a central angle of 25°29'33", a radius of 845.00 feet, a tangent length of 191.15 feet, and a chord bearing N57°10'59"E, 372.87 feet;

THENCE in a northeasterly direction along said curve to the left, and with the southeasterly line of Yellowjacket Lane, an arc distance of 375.96 feet to an "x" cut set for corner and the end of said curve;

THENCE N44°26'13"E, with the southeasterly line of Yellowjacket Lane, a distance of 517.40 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner, from which a 1/2" iron rod bears N72°41'18"W, 2.03 feet, said corner being the beginning of a curve to the left having a central angle of 34°15'09", a radius of 845.00 feet, a tangent length of 260.38 feet, and a chord bearing N27°18'38"E, 497.67 feet;

THENCE in a northeasterly direction along said curve to the left, and with the southeasterly line of Yellowjacket Lane, an arc distance of 505.16 feet to a 1/2" iron rod set with yellow plastic cap stamped "4613" for corner and the beginning of a reverse curve to the right having a central angle of 14°38'12" a radius of 755.00 feet, a tangent length of 96.96 feet, and a chord bearing N17°30'09"E, 192.35 feet;

THENCE in a northeasterly direction along said curve to the right, and with the southeasterly line of Yellowjacket Lane, an arc distance of 192.87 feet to the POINT OF BEGINNING and CONTAINING 1,537,462 square feet, or 35.295 acres of land.

BASIS OF BEARINGS:

The bearings shown are derived from Texas WDS RTK Network, Texas State Plane Coordinate System, Nad83, North Central Zone, Nad 83 (CORS96) Epoch 2002.0, vertical positions are referenced using NAVD88 using (GEIOD03).

GENERAL NOTES

It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer, and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance, or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

STATE OF TEXAS
COUNTY OF ROCKWALL

We, Rockwall Independent School District, the undersigned owner of the land shown on this plat, and designated Lot 2, Block 1, Rockwall High School Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever, all streets, alleys, parks, water courses, drains, easements, and public places thereon shown for the purpose and consideration therein expressed.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

- 1. No buildings shall be constructed upon, over or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other growths or improvements which in any way endanger or interfere with construction, maintenance, or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from, and upon the said easement strips for the purpose of construction, reconstruction, inspecting, patrolling, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. Property owner is responsible for maintaining, repairing, and replacing detention/drainage system.
7. No house, dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at the prevailing private commercial rates, or have been made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done, or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

Rockwall Independent School District
By:
Title:

STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office, this the \_\_\_\_\_ day of \_\_\_\_\_, 2019.

Notary Public in and for the State of Texas

PURPOSE OF REPLAT:
To dedicate a drainage & detention easement.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, David J. Surdukan, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

David J. Surdukan, RPLS
Registration No. 4613
TX Firm No. 10069500



RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission

Date

APPROVED

I hereby certify that the above and foregoing plan of an addition to the City of Rockwall, Texas was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2017.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2019

Mayor, City of Rockwall

City Secretary

City Engineer

SHEET 3 OF 3
FINAL PLAT

ROCKWALL HIGH SCHOOL ADDITION

LOT 2, BLOCK 1

Being A Replat Of

Rockwall High School Addition, Lot 2, Block 1
Recorded In Cabinet H, Page 5, P.R.R.C.T.

35.295 Acres Situated In The
E.P.G. CHISUM SURVEY ~ ABST. 64
J.D. McFARLAND SURVEY ~ ABST. 145
ROCKWALL, ROCKWALL COUNTY, TEXAS

Owner
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Rockwall, Texas 75087
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May 17, 2019

Case No. P2019-000



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** July 30, 2019  
**APPLICANT:** Matthew Gardner; *Halff Associates*  
**CASE NUMBER:** P2019-028; *Lot 2, Block 1, Indalloy Addition*

---

### SUMMARY

Consider a request by Matthew Gardner of Halff Associates on behalf of Carolina Molina of Alvaplast US (*SPR Packaging*) for the approval of a replat for a 43.0139-acre tract of land identified as Lot 1, Block 1, Indalloy Addition; Tract 31 of the R. Ballard Survey, Abstract No. 29; and Tract 7 of the N. Butler Survey, Abstract No. 20, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Aluminum Plant Road, and take any action necessary.

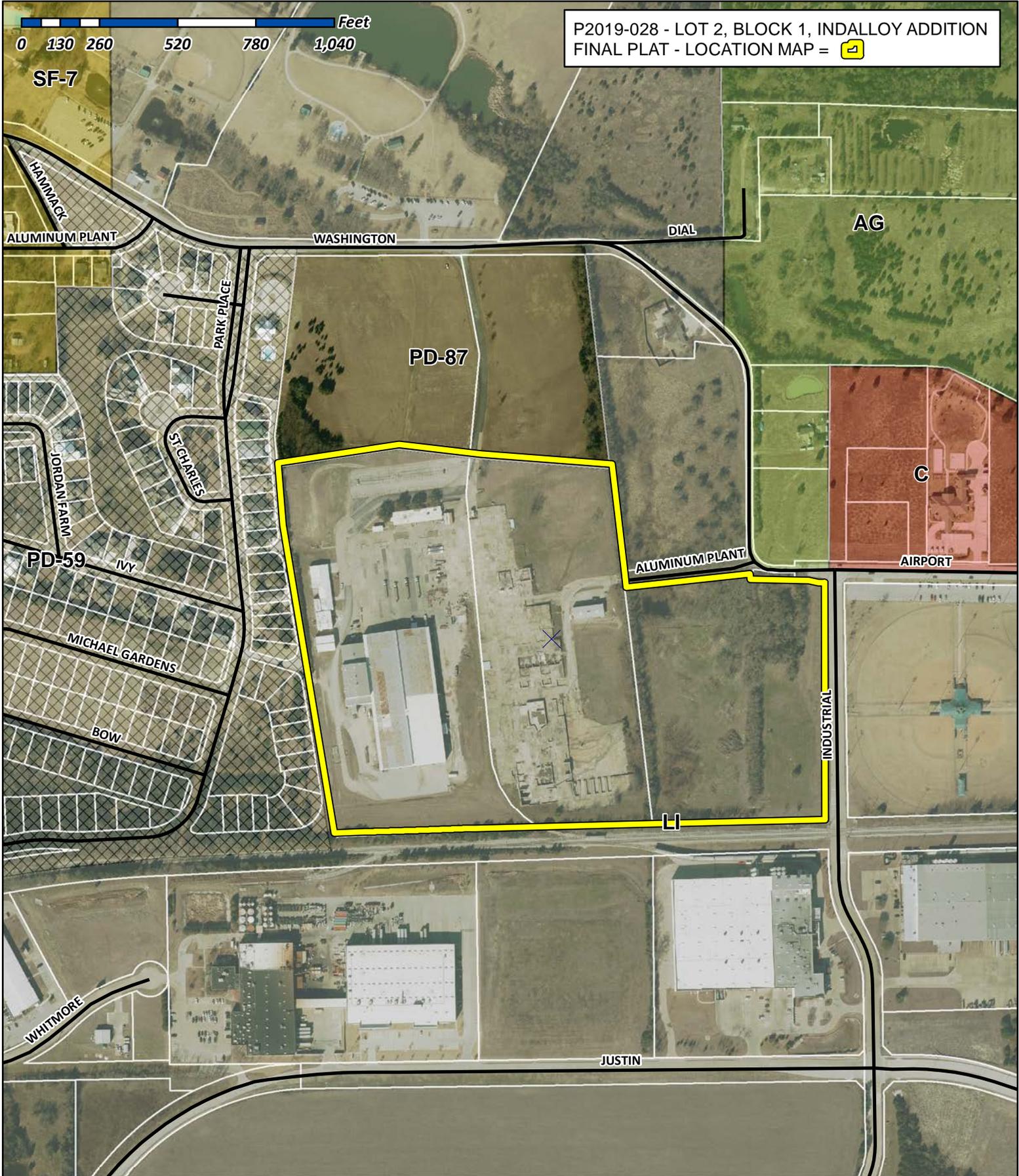
### PLAT INFORMATION

- The applicant is requesting the approval of a replat for a 43.0139-acre tract of land [i.e. *Lot 2, Block 1, Indalloy Addition*] that will establish firelane, utility, sanitary sewer, detention, and waterline easements for the purpose of developing the *subject property*. Additionally, the replat will abandon a portion of a dedicated right-of-way [i.e. *Aluminum Plant Road*]. The *subject property* is zoned Light Industrial (LI) District and is addressed as 501 Industrial Boulevard.
- On January 18, 2019, Matthew Gardner of Halff Associates submitted a site plan [i.e. *Case No. SP2019-004*] proposing the construction of a ~78,615 SF warehouse/manufacturing facility in conjunction with an existing warehouse/manufacturing facility [i.e. *SPR Packaging*] at 1480 Justin Road. On March 12, 2019, the Planning and Zoning Commission approved the site plan and all requested exceptions [i.e. *Case No. SP 2019-004*].
- On March 18, 2019, the City Council approved an *Alternative Tree Mitigation Settlement Agreement*, for a total of \$14,225.00 to be paid into the *City's Tree Fund*. This amount is due at the time of filing this final plat. This has been added as a condition of approval below.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat - *conforming to the requirements for replats as stated in the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lot 2, Block A, Indalloy Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Prior to the filing of this plat, payment into the *City's Tree Fund* in the amount of \$14,225.00 to satisfy the *Alternative Tree Mitigation Settlement Agreement* approved by the City Council on March 18, 2019 shall be due.
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



## City of Rockwall Project Plan Review History



<b>Project Number</b> P2019-028	<b>Owner</b> ROCKWALL, 12.833 LP	<b>Applied</b> 7/12/2019 LM
<b>Project Name</b> Lot 2, Block 1, Indalloy Addition	<b>Applicant</b> HALFF ASSOCIATES	<b>Approved</b>
<b>Type</b> PLAT		<b>Closed</b>
<b>Subtype</b> FINAL		<b>Expired</b>
<b>Status</b> P&Z HEARING		<b>Status</b> 7/26/2019 DG

<b>Site Address</b> INDUSTRIAL	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
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<b>Subdivision</b> INDALLOY ADDITION	<b>Tract</b> 7	<b>Block</b>	<b>Lot No</b> 7	<b>Parcel No</b> 0020-0000-0007-00-0R	<b>General Plan</b>
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/12/2019	7/19/2019	7/15/2019	3	APPROVED	
ENGINEERING (7/25/2019 11:09 AM SH) - Must show the ROW abandonment for Airport Road. The abandonment will be done by plat.	Sarah Hager	7/12/2019	7/19/2019	7/25/2019	13	COMMENTS	
FIRE	Ariana Hargrove	7/12/2019	7/19/2019	7/18/2019	6	APPROVED	
GIS	Lance Singleton	7/12/2019	7/19/2019	7/16/2019	4	APPROVED	
PLANNING	David Gonzales	7/12/2019	7/19/2019	7/23/2019	11	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Consider a request by Matthew Gardner of Halff Associates on behalf of Carolina Molina of Alvaplast US(SPR Packaging) for the approval of a replat for a 43.0139-acre tract of land identified as Lot 1, Block 1, Indalloy Addition; Tract 31 of the R. Ballard Survey, Abstract No. 29; and Tract 7 of the N. Butler Survey, Abstract No. 20, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Aluminum Plant Road, and take any action necessary.</p>						
<p>** Planning Department General Comments to be addressed:</p>						
<p>The following staff comments are to be addressed and resubmitted no later than Tuesday August 6, 2019. Please provide one (1) large copy [18" X 24" FOLDED] and one PDF version for a final review by staff:</p>						
<p>** Planning Department General Comments to be addressed:</p>						
<ol style="list-style-type: none"> <li>1. The final plat shall conform to all standards and requirements of the Unified Development Code(UDC), the staff comments provided by the Planning Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document</li> <li>2. Provide a label indicating "Case No. P2019-028" on the lower right corner on all pages of the revised final plat</li> <li>3. Delineate and label all easements on plat (i.e. Firelane, Public Access, Utility and Drainage Easements). Some of the easements are not identified.</li> <li>4. Change the name of that portion of the street labeled as Airport Road to 'Aluminum Plant Road'. Located at bearing N83-53-38 E.</li> <li>5. Delineate and label minimum 5-ft sidewalk along Industrial Boulevard &amp; Aluminum Plant Road.</li> </ol>						
<p>** As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing **</p>						
<p>** Although on this case is on the Consent Agenda, staff would recommend that you and/or your representative(s) are in attendance for this request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p>						
<p>Meeting Dates to Attend</p>						
<p>Planning - Consent Agenda: July 30, 2019 (Tuesday at 6:00 p.m.)</p>						
<p>City Council - Consent Agenda: August 5, 2019 (Monday at 6:00 p.m.)</p>						

Line Course: S 00-07-36 E Length: 788.63

Line Course: S 88-36-50 W Length: 584.08

Line Course: S 88-32-20 W Length: 578.23

Curve Length: 368.53                  Radius: 21774.77  
Delta: 0-58-11                  Tangent: 184.26  
Chord: 368.51                  Course: S 88-05-13 W

Line Course: S 88-04-12 W Length: 100.57

Line Course: N 09-24-49 W Length: 1039.69

Line Course: N 04-58-27 W Length: 206.69

Line Course: N 81-27-00 E Length: 407.41

Line Course: S 83-23-14 E Length: 274.94

Line Course: S 85-37-16 E Length: 435.64

Line Course: S 06-42-50 E Length: 361.82

Line Course: N 83-53-38 E Length: 385.71

Line Course: S 01-01-31 E Length: 50.20

Line Course: N 83-53-38 E Length: 32.63

Line Course: S 01-01-31 E Length: 17.89

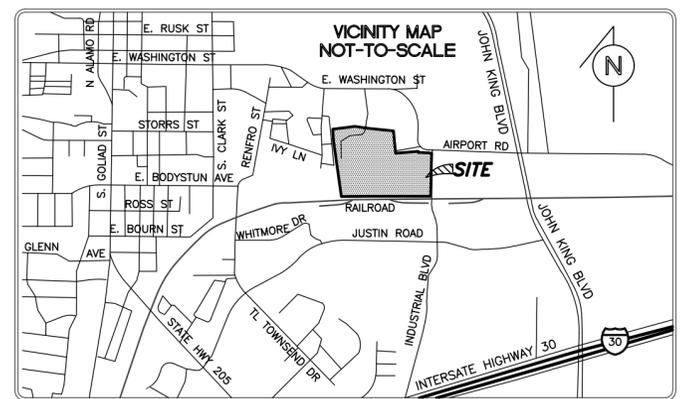
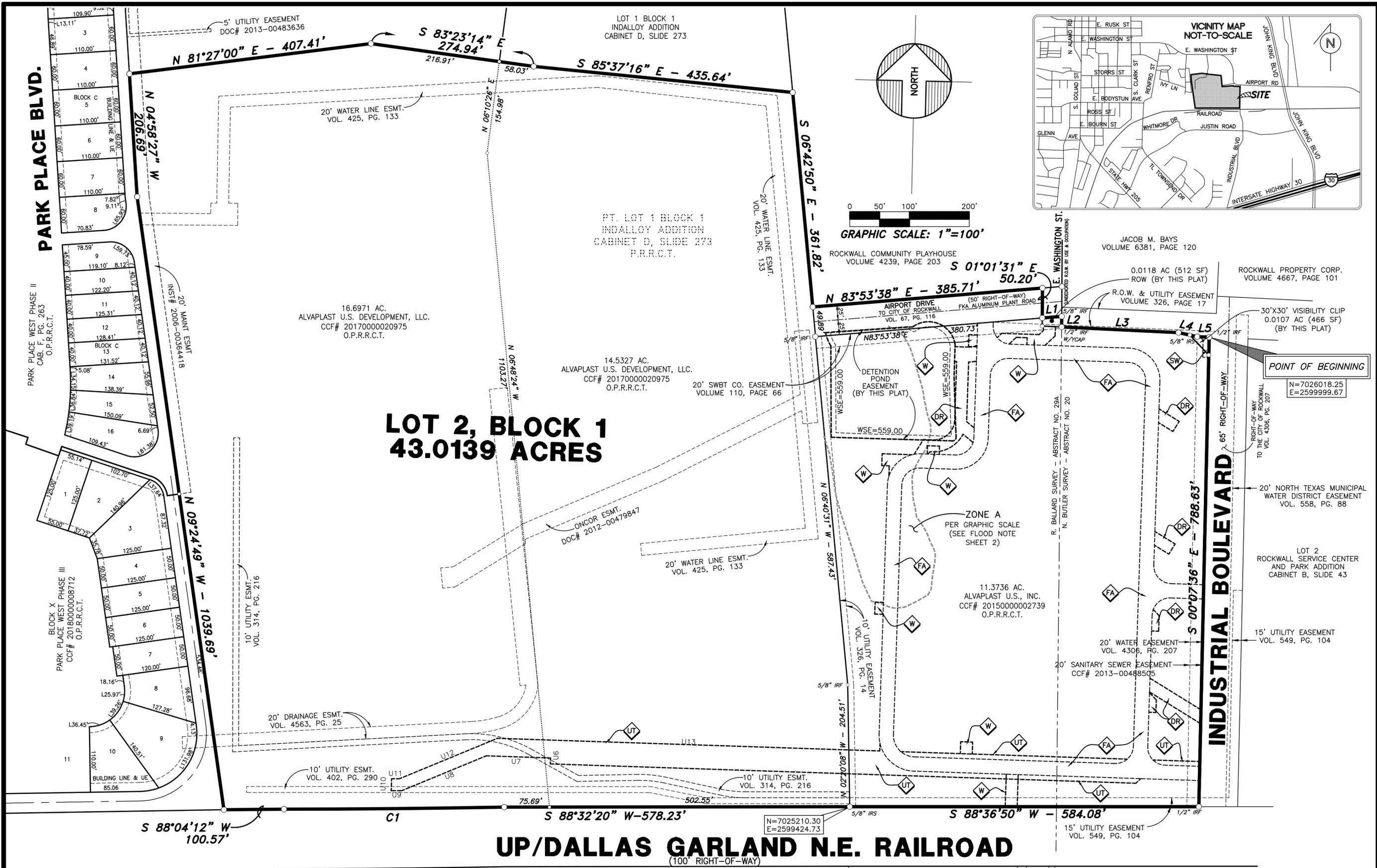
Line Course: S 88-37-46 E Length: 195.72

Line Course: S 79-05-55 E Length: 32.05

Line Course: S 88-51-14 E Length: 20.02

Perimeter: 5880.44 Area: 1,873,684 SF 43.0139 AC

Error Closure: 0.0013                  Course: S 78-18-58 W  
Error North: -0.0011                  East : -0.0031988  
Precision 1: 589,677.34



GRAPHIC SCALE: 1"=100'

**LOT 2, BLOCK 1  
43.0139 ACRES**

**UP/DALLAS GARLAND N.E. RAILROAD**  
(100' RIGHT-OF-WAY)

**NOTE:**  
THE PURPOSE OF THIS PLAT IS TO CREATE 1 NEW LOT.

**NOTE:**  
SEE PAGE 2 FOR DETAILS  
SEE PAGE 3 FOR LEGEND

**OWNER:**  
ALVAPLAST U.S. DEVELOPMENT, LLC.  
1480 JUSTIN RD  
ROCKWALL, TX 75087  
CONTACT: CAROLINA MOLINA  
EMAIL: CMOLINA@SPRPACKAGING.COM  
TEL: 469-402-1232

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ROCKWALL, TX 75087  
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TEL: 469-402-1232

~ LINE TABLE ~

NO.	BEARING	DISTANCE
L1	N83°53'38"E	32.63'
L2	S01°01'31"E	17.89'
L3	S88°37'46"E	195.72'
L4	S79°05'55"E	32.05'
L5	S88°51'14"E	20.02'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C1	21774.77'	0°58'11"	368.53'	S88°05'13"W	368.51'

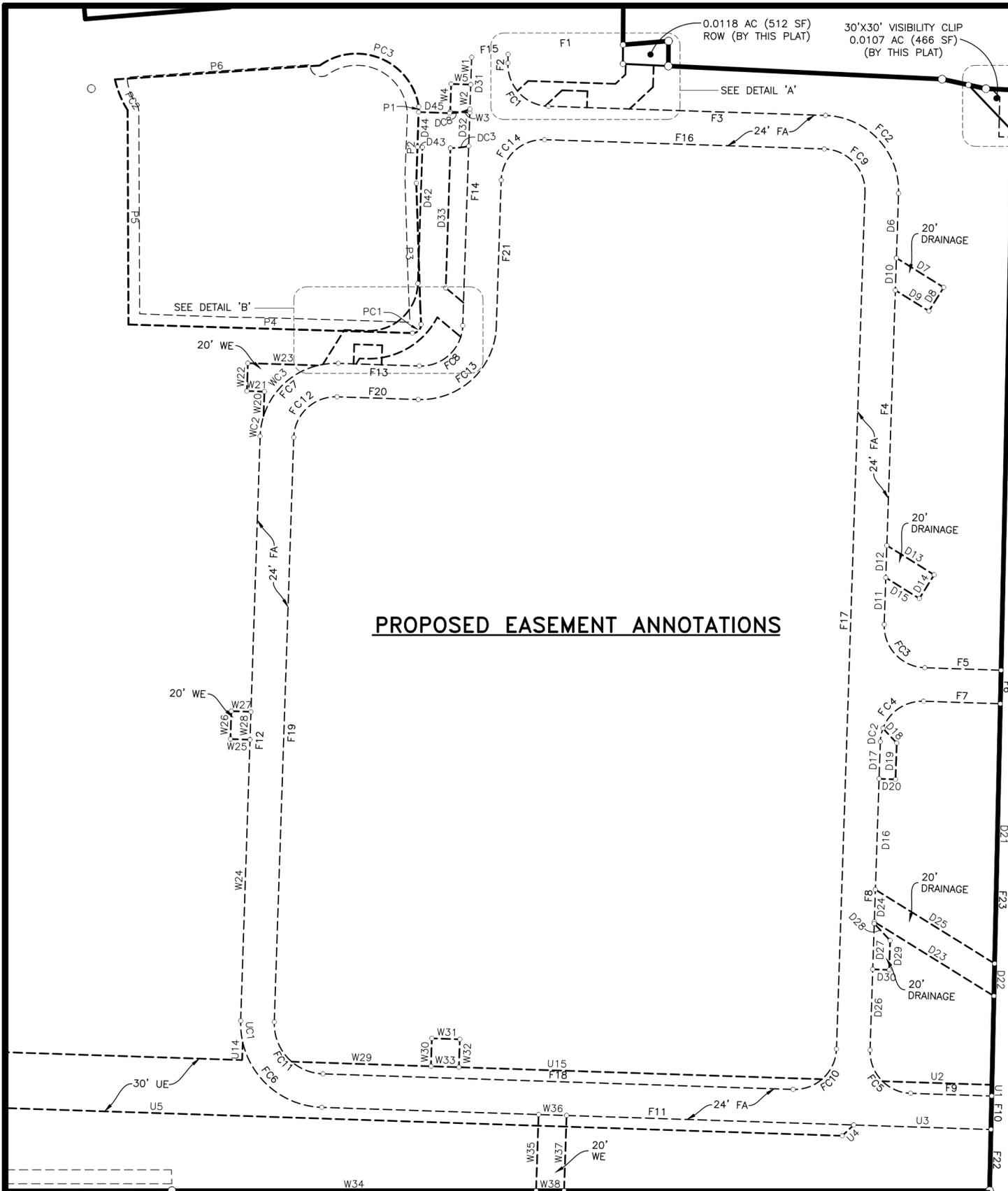
**FINAL PLAT**  
**LOT 2, BLOCK 1**  
**INDALLOY ADDITION**  
BEING A REPLAT OF PART OF LOT 1, BLOCK 1  
BEING A 43.0139-ACRE PARCEL  
N. BUTLER SURVEY - ABSTRACT NO. 20  
R. BALLARD SURVEY - ABSTRACT NO. 29A  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

JULY 11, 2019

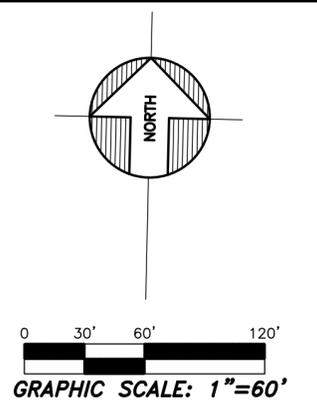
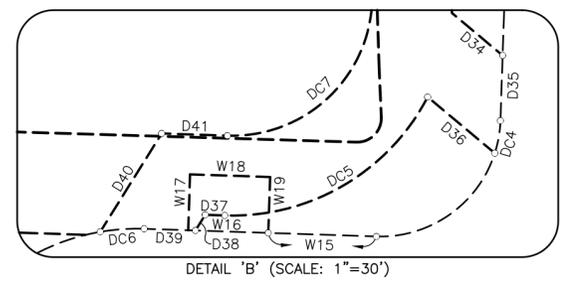
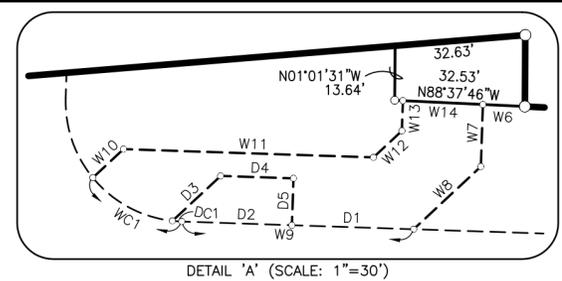
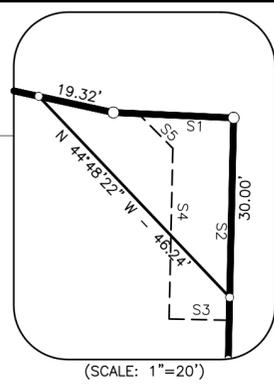
CASE NO. P2019-\_\_\_\_



BLUE SKY SURVEYING & MAPPING, CORPORATION  
11015 MIDWAY ROAD  
DALLAS, TEXAS 75229  
PHONE: (214) 358-4500  
FAX: (214) 358-4600  
DRPTREE@BLUESKYSURVEYING.COM  
TBPLS REGISTRATION NO. 10105700



**PROPOSED EASEMENT ANNOTATIONS**



~ LINE TABLE ~

NO.	BEARING	DISTANCE
F1	S83°53'38\"W	82.30'
F2	S00°30'52\"W	6.28'
F3	S89°29'08\"E	198.00'
F4	S00°30'52\"W	309.00'
F5	S89°29'08\"E	54.54'
F6	S00°07'36\"E	24.00'
F7	N89°29'08\"W	54.81'
F8	S00°30'52\"W	221.00'
F9	S89°29'08\"E	57.95'
F10	S00°07'36\"E	24.00'
F11	N89°29'08\"W	478.22'
F12	N00°30'52\"E	419.00'
F13	S89°29'08\"E	58.00'
F14	N00°30'52\"E	192.27'
F15	N83°53'38\"E	26.17'
F16	S89°29'08\"E	200.00'
F17	S00°30'52\"W	614.00'
F18	N89°29'08\"W	336.00'
F19	N00°30'52\"E	419.00'
F20	S89°29'08\"E	58.00'
F21	N00°30'52\"E	105.00'
F22	N00°07'36\"W	43.86'
F23	N00°07'36\"W	281.02'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
FC1	30.00'	90°00'00\"	47.12'	S44°29'08\"E	42.43'
FC2	54.00'	90°00'00\"	84.82'	N44°29'08\"E	76.37'
FC3	30.00'	90°00'00\"	47.12'	S44°29'08\"E	42.43'
FC4	30.00'	90°00'00\"	47.12'	S44°29'08\"E	42.43'
FC5	30.00'	90°00'00\"	47.12'	S44°29'08\"E	42.43'
FC6	60.00'	90°00'00\"	84.25'	S44°29'08\"E	84.85'
FC7	54.00'	90°00'00\"	84.82'	S45°30'52\"W	76.37'
FC8	30.00'	90°00'00\"	47.12'	N45°30'52\"E	42.43'
FC9	30.00'	90°00'00\"	47.12'	N44°29'08\"W	42.43'
FC10	30.00'	90°00'00\"	47.12'	N45°30'52\"E	42.43'
FC11	36.00'	90°00'00\"	56.55'	S44°29'08\"E	50.91'
FC12	30.00'	90°00'00\"	47.12'	S45°30'52\"W	42.43'
FC13	54.00'	90°00'00\"	84.82'	N45°30'52\"E	76.37'
FC14	30.00'	90°00'00\"	47.12'	S45°30'52\"W	42.43'

~ LINE TABLE ~

NO.	BEARING	DISTANCE
D1	N89°29'08\"W	30.41'
D2	N89°29'08\"W	27.50'
D3	N45°30'52\"E	16.49'
D4	S89°29'08\"E	18.18'
D5	S00°30'52\"W	11.75'
D6	S00°30'52\"W	46.12'
D7	S89°29'08\"E	39.79'
D8	S30°30'52\"W	20.05'
D9	N89°29'08\"W	28.25'
D10	N00°30'52\"E	23.09'
D11	N00°30'52\"E	33.54'
D12	N00°30'52\"E	23.09'
D13	S89°29'08\"E	39.79'
D14	S30°30'52\"W	20.00'
D15	N89°29'08\"W	28.25'
D16	N00°30'52\"E	79.39'
D17	N00°30'52\"E	26.58'
D18	S44°29'08\"E	14.38'
D19	S00°30'52\"W	26.02'
D20	N89°29'08\"W	11.75'
D21	S00°07'36\"E	186.15'
D22	S00°07'36\"E	23.25'
D23	N89°29'08\"W	100.63'
D24	N00°30'52\"E	23.09'
D25	S89°29'08\"E	100.33'
D26	N00°30'52\"E	57.87'
D27	N00°30'52\"E	32.77'
D28	S44°29'08\"E	16.62'
D29	S00°30'52\"W	21.02'
D30	N89°29'08\"W	11.75'
D31	S00°30'52\"W	37.09'
D32	S00°30'52\"W	26.56'
D33	S00°30'52\"W	100.21'
D34	S51°21'04\"E	16.53'
D35	S00°30'52\"W	16.36'
D36	N51°21'04\"W	21.89'
D37	N89°29'08\"W	4.88'
D38	S30°30'52\"W	4.62'
D39	N89°29'08\"W	12.81'
D40	N30°30'52\"E	29.00'
D41	S89°29'08\"E	16.42'
D42	N00°30'52\"E	97.76'
D43	N89°29'08\"W	3.54'
D44	N00°26'49\"E	25.00'
D45	S89°29'08\"E	22.06'

~ LINE TABLE ~

NO.	BEARING	DISTANCE
W1	S00°31'14\"W	19.58'
W2	S00°30'30\"W	20.00'
W3	N89°29'08\"W	14.00'
W4	N00°30'52\"E	20.00'
W5	S89°29'08\"E	14.00'
W6	N88°37'46\"W	10.48'
W7	S00°30'52\"W	15.56'
W8	S45°30'52\"W	22.98'
W9	N89°29'08\"W	57.91'
W10	N45°30'52\"E	10.50'
W11	S89°29'08\"E	62.42'
W12	N45°30'52\"E	9.73'
W13	N00°30'52\"E	7.58'
W14	S88°37'46\"E	20.00'
W15	N89°29'08\"W	27.00'
W16	N89°29'08\"W	20.00'
W17	N00°30'52\"E	14.00'
W18	S89°29'08\"E	20.00'
W19	S00°30'52\"W	14.00'
W20	N00°30'52\"E	17.44'
W21	N89°29'08\"W	12.50'
W22	N00°30'52\"E	20.00'
W23	S89°29'08\"E	49.94'
W24	N00°30'52\"E	201.50'
W25	N89°29'08\"W	14.00'
W26	N00°30'52\"E	20.00'
W27	S89°29'08\"E	14.00'
W28	S00°30'52\"W	20.00'
W29	S89°29'08\"E	99.51'
W30	N00°30'52\"E	20.00'
W31	S89°29'08\"E	20.00'
W32	S00°30'52\"W	20.00'
W33	N89°29'08\"W	20.00'
W34	N88°36'50\"E	260.10'
W35	N00°30'52\"E	54.60'
W36	S89°29'08\"E	20.00'
W37	S00°30'52\"W	53.94'
W38	S88°36'50\"W	20.01'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
WC1	30.00'	48°46'36\"	25.54'	S65°05'50\"E	24.78'
WC2	54.00'	15°38'34\"	14.74'	S08°20'09\"W	14.70'
WC3	54.00'	58°42'54\"	55.34'	S45°30'52\"W	52.95'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
DC1	30.00'	4°28'41\"	2.34'	S87°14'48\"E	2.34'
DC2	30.00'	18°40'57\"	9.78'	S09°51'20\"W	9.74'
DC3	57.50'	13°06'41\"	13.16'	N82°27'31\"E	13.13'
DC4	30.00'	15°49'01\"	8.28'	N08°25'23\"E	8.26'
DC5	55.00'	64°31'05\"	61.93'	N58°15'20\"E	58.71'
DC6	54.00'	11°40'16\"	11.00'	S84°40'44\"W	10.98'
DC7	35.00'	90°00'00\"	54.98'	N45°30'52\"E	49.50'
DC8	32.50'	26°30'27\"	15.04'	N77°15'39\"E	14.90'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
PC1	6.00'	93°33'46\"	9.80'	N43°33'07\"E	8.74'
PC2	70.00'	19°35'53\"	23.94'	S23°41'41\"E	23.83'
PC3	45.00'	116°49'39\"	91.76'	N68°48'02\"W	76.67'

~ LINE TABLE ~

NO.	BEARING	DISTANCE
U1	N00°07'36\"W	8.00'
U2	N89°29'08\"W	78.26'
U3	N89°29'08\"W	98.08'
U4	S45°30'52\"W	11.31'
U5	N89°29'08\"W	980.39'
U6	N00°30'52\"E	10.00'
U7	N89°29'08\"W	107.54'
U8	S66°07'29\"W	152.92'
U9	S88°37'29\"W	17.79'
U10	N00°30'52\"E	20.01'
U11	N88°37'29\"E	13.15'
U12	N66°07'29\"E	177.48'
U13	S89°29'08\"E	640.06'
U14	N00°30'52\"E	12.64'
U15	N89°29'08\"W	379.02'

~ LINE TABLE ~

NO.	BEARING	DISTANCE
P1	S00°26'49\"W	3.92'
P2	S00°26'49\"W	50.98'
P3	S03°13'45\"E	101.15'
P4	N89°40'00\"W	202.79'
P5	N01°36'22\"W	153.52'
P6	N84°42'53\"E	146.56'

~ LINE TABLE ~

NO.	BEARING	DISTANCE
S1	S88°51'14\"E	15.88'
S2	S00°07'36\"E	33.81'
S3	S89°52'24\"W	10.00'
S4	N00°07'36\"W	28.50'
S5	N46°11'12\"W	8.16'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
UC1	60.00'	14°50'08\"	15.54'	S06°54'12\"E	15.49'

**FINAL PLAT**  
**LOT 2, BLOCK 1**  
**INDALLOY ADDITION**  
 BEING A REPLAT OF PART OF LOT 1, BLOCK 1  
 BEING A 43.0139-ACRE PARCEL  
 N. BUTLER SURVEY - ABSTRACT NO. 20  
 R. BALLARD SURVEY - ABSTRACT NO. 29A  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

JULY 11, 2019

CASE NO. P2019-\_\_\_\_\_



BLUE SKY SURVEYING & MAPPING, CORPORATION  
 11015 MIDWAY ROAD  
 DALLAS, TEXAS 75229  
 PHONE: (214) 358-4500  
 FAX: (214) 358-4600  
 DRPETREE@BLUESKYSURVEYING.COM  
 TBPLS REGISTRATION No. 10105700

**OWNER:**  
 ALVAPLAST U.S. DEVELOPMENT, LLC.  
 1480 JUSTIN RD  
 ROCKWALL, TX 75087  
 CONTACT: CAROLINA MOLINA  
 EMAIL: CMOLINA@SPRPACKAGING.COM  
 TEL: 469-402-1232

**OWNER:**  
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 ROCKWALL, TX 75087  
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 EMAIL: CMOLINA@SPRPACKAGING.COM  
 TEL: 469-402-1232

**OWNER'S CERTIFICATE**

STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS, ALVAPLAST U.S., INC., A DELAWARE CORPORATION, AND ALVAPLAST U.S. DEVELOPMENT, LLC., ARE THE OWNERS OF ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE N. BUTLER SURVEY ABSTRACT NO. 20 AND THE R. BALLARD SURVEY, ABSTRACT NO. 29, ROCKWALL COUNTY, TEXAS; AND BEING A PART OF LOT 1, BLOCK 1, INDALLOY ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET D, SLIDE 273 OF THE PLAT RECORDS OF ROCKWALL COUNTY TEXAS; SAID TRACT BEING THE SAME 11.3736 ACRE OF TRACT OF LAND DESCRIBED IN GENERAL WARRANTY DEED TO ALVAPLAST U.S., INC., A DELAWARE CORPORATION RECORDED IN INSTRUMENT NUMBER 215000002739 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS; AND BEING THE SAME 14.53 ACRE TRACT OF LAND DESCRIBED AS TRACT 1 AND 16.69 ACRE TRACT OF LAND DESCRIBED AS TRACT 2 IN GENERAL WARRANTY DEED TO ALVAPLAST U.S. DEVELOPMENT, LLC., IN INSTRUMENT NUMBER 20170000020975 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS; SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS, AS FOLLOWS:

**BEGINNING** AT A 1/2 INCH IRON ROD WITH "POGUE ENG & DEV" CAP FOUND AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF INDUSTRIAL BOULEVARD (A 65-FOOT WIDE RIGHT-OF-WAY) AND THE SOUTH RIGHT-OF-WAY LINE OF AIRPORT ROAD (A VARIABLE WIDTH RIGHT-OF-WAY);

**THENCE** SOUTH 00° 07' 36" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SAID INDUSTRIAL BOULEVARD FOR A DISTANCE OF 788.63 FEET TO A 1/2-INCH IRON ROD WITH "POGUE ENG & DEV" CAP FOUND FOR CORNER IN THE NORTH RIGHT-OF-WAY LINE OF UP/DALLAS GARLAND N.E. RAILROAD (A 100-FOOT WIDE RIGHT-OF-WAY); SAID POINT BEING THE SOUTHEAST CORNER OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT;

**THENCE** SOUTH 88° 36' 50" WEST DEPARTING THE WEST RIGHT-OF-WAY LINE OF SAID INDUSTRIAL BOULEVARD AND ALONG THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD AND SOUTH LINE OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT FOR A DISTANCE OF 584.08 FEET TO A 5/8" IRON ROD SET FOR CORNER; SAID POINT ALSO BEING THE SOUTHWEST CORNER OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT AND THE SOUTHEAST CORNER OF SAID LOT 1 IN BLOCK 1;

**THENCE** SOUTH 88° 32' 20" WEST AND ALONG THE SOUTH LINE OF SAID LOT 1 IN BLOCK 1, PASSING AT A DISTANCE OF 502.55, THE SOUTHWEST CORNER OF SAIS LOT 1 IN BLOCK 1, SAID POINT ALSO BEING THE COMMON CORNER FOR SAID 14.53 ACRE AND 16.69 ACRE TRACTS, AND CONTINUING FOR A TOTAL DISTANCE OF 578.23' TO A POINT FOR CORNER, SAID POINT ALSO BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 00° 58' 11" WITH A RADIUS OF 21,774.77 FEET AND A CHORD BEARING SOUTH 88° 05' 13" WEST AT A DISTANCE OF 368.51 FEET;

**THENCE** SOUTHWESTERLY AND CONTINUING ALONG THE SOUTH LINE OF SAID 16.69 ACRE TRACT, AND ALONG SAID CURVE TO THE RIGHT FOR AN ARC DISTANCE OF 368.53 FEET TO A POINT FOR CORNER;

**THENCE** SOUTH 88° 04' 12" WEST AND CONTINUING ALONG THE SOUTH LINE OF SAID 16.69 ACRE TRACT FOR A DISTANCE OF 100.57 FEET TO A POINT FOR THE SOUTHWEST CORNER OF SAID 16.69 ACRE TRACT, AND BEING THE SOUTHEAST CORNER OF PARK PLACE WEST PHASE III ADDITION, AN ADDITION TO THE CITY OF ROCKWALL ACCORDING TO THE PLAT THEREOF, RECORDED IN COUNTY CLERK'S FILE NUMBER 2018000008712 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS;

**THENCE** NORTH 09° 24' 49" WEST AND ALONG THE WEST LINE OF SAID 16.69 ACRE TRACT AND ALONG THE EAST LINE OF SAID PARK PLACE WEST PHASE III ADDITION, PASSING AT A DISTANCE OF 534.46 FEET A NORTHEAST CORNER OF SAID PARK PLACE WEST PHASE III ADDITION, SAME BEING A SOUTHEAST CORNER OF PARK PLACE WEST PHASE II ADDITION, AN ADDITION TO THE CITY OF ROCKWALL ACCORDING TO THE PLAT THEREOF, RECORDED IN CABINET F, PAGE 263 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS, AND CONTINUING FOR A TOTAL DISTANCE OF 1,039.69 FEET TO A POINT FOR CORNER;

**THENCE** NORTH 04° 58' 27" WEST FOR A DISTANCE OF 206.69 FEET TO A POINT FOR THE NORTHWEST CORNER OF SAID 16.69 ACRE TRACT;

**THENCE** NORTH 81° 27' 00" EAST FOR A DISTANCE OF 407.41 FEET TO A POINT FOR THE NORTHERN-MOST CORNER OF SAID 16.69 ACRE TRACT;

**THENCE** SOUTH 83° 23' 14" EAST AND CONTINUING ALONG THE NORTH LINE OF SAID 16.69 ACRE TRACT, PASSING AT A DISTANCE OF 216.91 FEET THE COMMON CORNER OF SAID 16.69 ACRE AND 14.53 ACRE TRACTS, AND CONTINUING FOR A TOTAL DISTANCE OF 274.94' TO A POINT FOR CORNER;

**THENCE** SOUTH 85° 37' 16" EAST AND FOLLOWING ALONG THE NORTH LINE OF SAID 14.53 ACRE TRACT FOR A DISTANCE OF 435.64' TO A POINT FOR THE NORTHEAST CORNER OF SAID 14.53 ACRE TRACT;

**THENCE** SOUTH 06° 42' 50" EAST FOR A DISTANCE OF 361.82 FEET TO A 5/8" IRON ROD SET FOR CORNER;

**THENCE** NORTH 83° 53' 38" EAST FOR A DISTANCE OF 385.71 FEET TO A 5/8" IRON ROD SET FOR CORNER;

**THENCE** SOUTH 01° 01' 31" EAST FOR A DISTANCE OF 50.20 FEET TO A 5/8" IRON ROD SET FOR CORNER;

**THENCE** SOUTH 83° 53' 38" EAST FOR A DISTANCE OF 32.63 FEET TO A 5/8" IRON ROD SET FOR CORNER;

**THENCE** SOUTH 01° 01' 31" EAST FOR A DISTANCE OF 17.89 FEET TO A 5/8" IRON ROD SET FOR CORNER;

**THENCE** 88° 37' 46" EAST FOR A DISTANCE OF 195.72 FEET TO A 1/2" IRON ROD WITH YELLOW CAP FOUND FOR CORNER;

**THENCE** SOUTH 79° 05' 55" EAST FOR A DISTANCE OF 32.05 FEET TO A 5/8" IRON ROD SET FOR CORNER;

**THENCE** SOUTH 88° 51' 14" EAST FOR A DISTANCE OF 20.02 FEET TO THE POINT OF BEGINNING AND CONTAINING 43.0139 ACRES (1,873,684 SQUARE FEET) OF LAND, MORE OR LESS.

**PROPOSED EASEMENTS BY THIS PLAT**

-  24' FIRE LANE, PUBLIC ACCESS & UTILITY EASEMENT
-  UTILITY EASEMENT
-  WATER EASEMENT
-  DRAINAGE EASEMENT
-  SIDEWALK EASEMENT

**LEGEND**

- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- IRS IRON ROD SET
- IRF IRON ROD FOUND

**OWNER:**

**ALVAPLAST U.S., INC.**  
1480 JUSTIN RD  
ROCKWALL, TX 75087  
CONTACT: CAROLINA MOLINA  
EMAIL: CMOLINA@SPRPACKAGING.COM  
TEL: 469-402-1232

**OWNER:**

**ALVAPLAST U.S. DEVELOPMENT, LLC.**  
1480 JUSTIN RD  
ROCKWALL, TX 75087  
CONTACT: CAROLINA MOLINA  
EMAIL: CMOLINA@SPRPACKAGING.COM  
TEL: 469-402-1232

**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

STATE OF TEXAS }  
COUNTY OF ROCKWALL }

WE, THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS LOT 2, BLOCK 1, INDALLOY ADDITION, A SUBDIVISION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. WE FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN INDALLOY ADDITION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

WE UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. WE ALSO UNDERSTAND THE FOLLOWING:

(1) NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.

(2) ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.

(3) THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.

(4) THE DEVELOPER AND SUBDIVISION ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.

(5) THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.

(6) NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL; OR

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

WE FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; WE, OUR SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

(7) PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, REPAIR, AND RECONSTRUCTION OF ALL SYSTEMS IN DRAINAGE AND DETENTION EASEMENTS.

**NOTE:** IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS, AND RESOLUTIONS OF THE CITY OF ROCKWALL.

WITNESS, MY HAND AT DALLAS, TEXAS, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

ALVAPLAST U.S. DEVELOPMENT, LLC. | ALVAPLAST U.S., INC.

BY: \_\_\_\_\_ | BY: \_\_\_\_\_

STATE OF TEXAS }  
COUNTY OF ROCKWALL }

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES: \_\_\_\_\_

STATE OF TEXAS }  
COUNTY OF ROCKWALL }

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES: \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS: THAT I, DAVID PETREE, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

**PRELIMINARY**

DAVID PETREE  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 1890

**FLOOD NOTE**

THE SUBJECT PROPERTY IS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS COMMUNITY PANEL NUMBER 48397C0040L, EFFECTIVE DATE: SEPTEMBER 26, 2008. ALL OF THE SUBJECT PROPERTY IS INDICATED TO BE IN ZONE "X" AND ZONE "A" ON SAID MAP. RELEVANT ZONES ARE DEFINED ON SAID MAP AS FOLLOWS:

ZONE "X" - OTHER AREAS: "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN"

ZONE "A" - SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD: NO BASE FLOOD ELEVATIONS DETERMINED.

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURE THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

**RECOMMENDED FOR FINAL APPROVAL**

PLANNING AND ZONING COMMISSION

PLANNING & ZONING

**APPROVED**

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL, COUNTY, TEXAS, WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

MAYOR, CITY OF ROCKWALL

CITY SECRETARY

CITY ENGINEER

**FINAL PLAT**  
**LOT 2, BLOCK 1**  
**INDALLOY ADDITION**  
**BEING A REPLAT OF PART OF LOT 1, BLOCK 1**

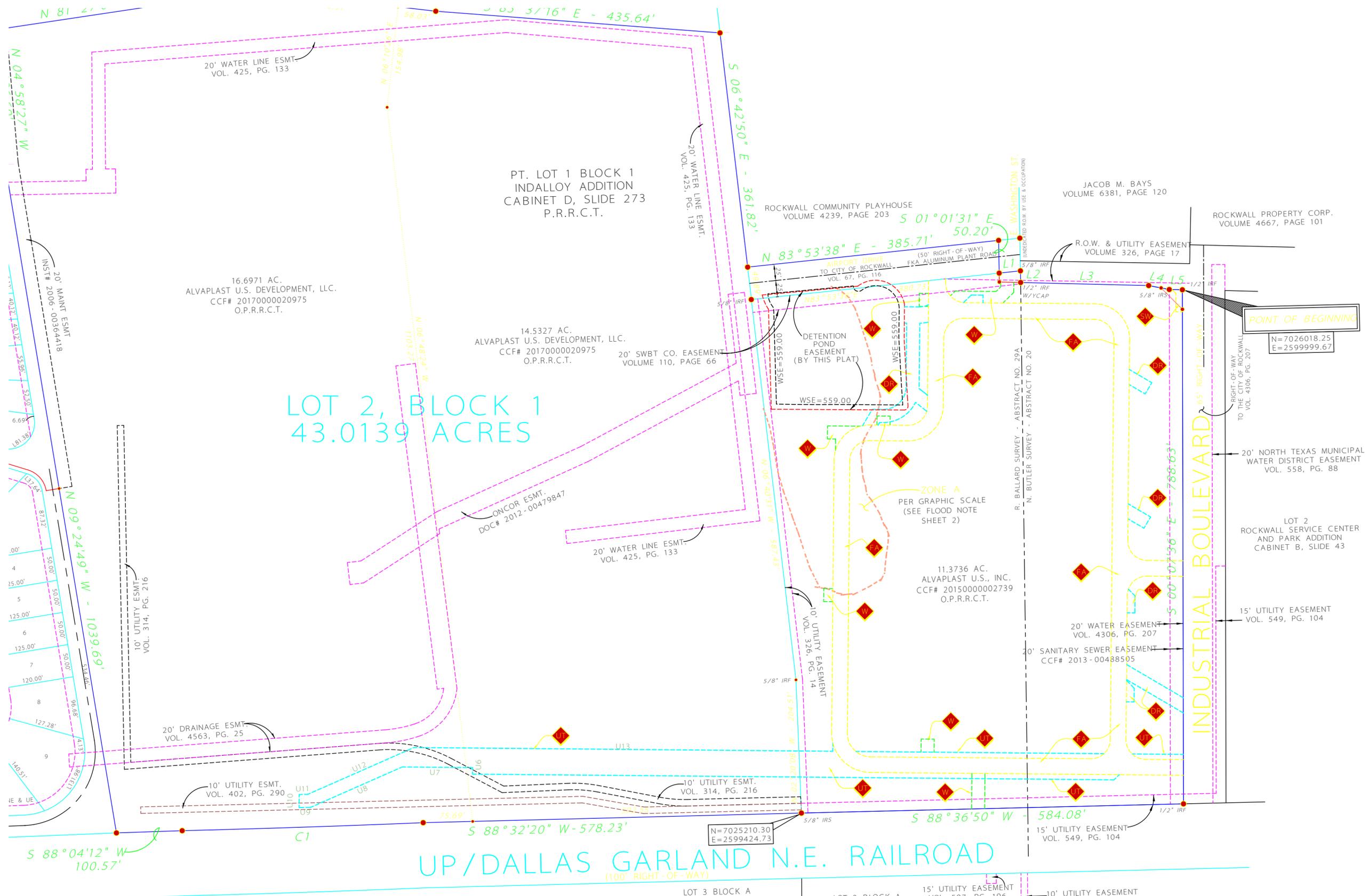
BEING A 43.0139-ACRE PARCEL  
N. BUTLER SURVEY - ABSTRACT NO. 20  
R. BALLARD SURVEY - ABSTRACT NO. 29A  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

JULY 11, 2019

CASE NO. P2019-\_\_\_\_



BLUE SKY SURVEYING  
& MAPPING, CORPORATION  
11015 MIDWAY ROAD  
DALLAS, TEXAS 75229  
PHONE: (214) 358-4500  
FAX: (214) 358-4600  
DRPETREE@BLUESKYSURVEYING.COM  
TBPLS REGISTRATION NO. 10105700



**LOT 2, BLOCK 1**  
43.0139 ACRES

PT. LOT 1 BLOCK 1  
INDALLOY ADDITION  
CABINET D, SLIDE 273  
P.R.R.C.T.

16.6971 AC.  
ALVAPLAST U.S. DEVELOPMENT, LLC.  
CCF# 20170000020975  
O.P.R.R.C.T.

14.5327 AC.  
ALVAPLAST U.S. DEVELOPMENT, LLC.  
CCF# 20170000020975  
O.P.R.R.C.T.

ROCKWALL COMMUNITY PLAYHOUSE  
VOLUME 4239, PAGE 203

JACOB M. BAYS  
VOLUME 6381, PAGE 120

ROCKWALL PROPERTY CORP.  
VOLUME 4667, PAGE 101

DETECTION POND  
EASEMENT  
(BY THIS PLAT)  
WSE=559.00

ZONE A  
PER GRAPHIC SCALE  
(SEE FLOOD NOTE  
SHEET 2)

11.3736 AC.  
ALVAPLAST U.S., INC.  
CCF# 20150000002739  
O.P.R.R.C.T.

POINT OF BEGINNING  
N=7026018.25  
E=2599999.67

N=7025210.30  
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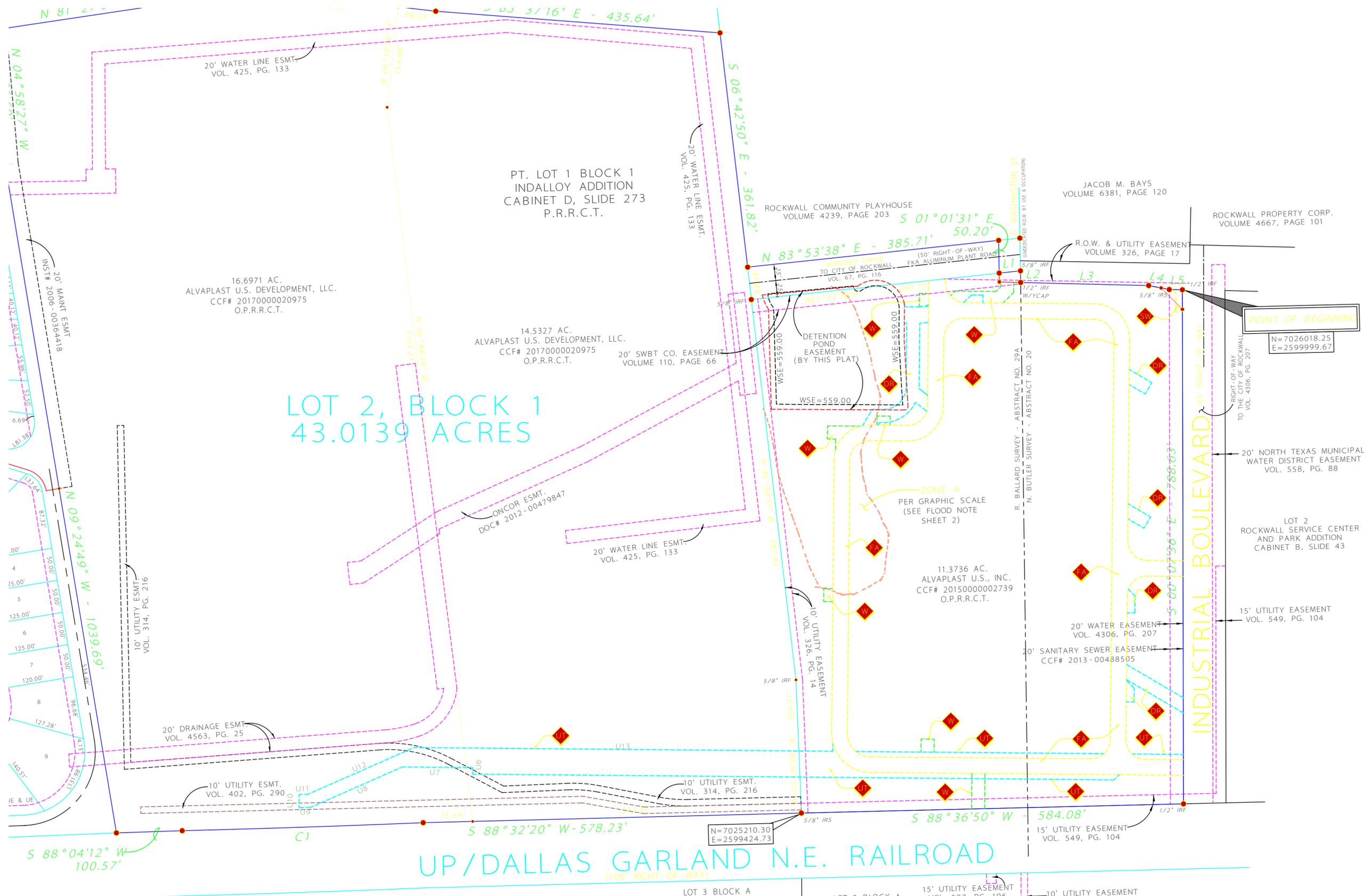
**UP/DALLAS GARLAND N.E. RAILROAD**  
(100' RIGHT-OF-WAY)

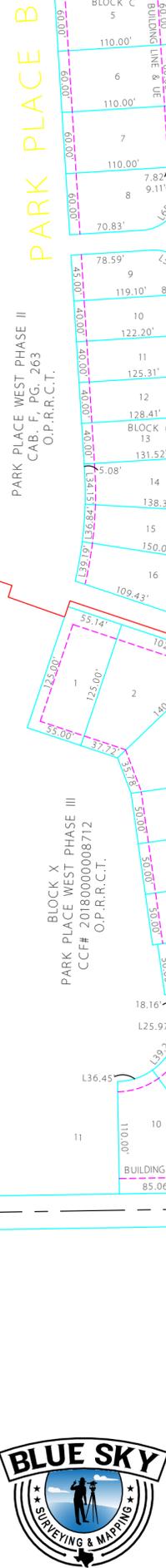
LOT 3 BLOCK A  
WHITMORE MANUFACTURING ADDITION  
CABINET H, SLIDE 239

LOT 2 BLOCK A  
SPR PACKAGING ADDITION  
CABINET H, SLIDE 155

15' UTILITY EASEMENT  
VOL. 507, PG. 196

10' UTILITY EASEMENT  
VOL. 305, PG. 112





BLUE SKY SURVEYING & MAPPING, CORPORATION  
 11015 MIDWAY ROAD  
 DALLAS, TEXAS 75229  
 PHONE: (214) 358-4500  
 FAX: (214) 358-4600  
 DRPETREE@BLUESKYSURVEYING.COM  
 TBPLS REGISTRATION No. 10105700

**OWNER:**  
 ALVAPLAST U.S. DEVELOPMENT, LLC.  
 1480 JUSTIN RD  
 ROCKWALL, TX 75087  
 CONTACT: CAROLINA MOLINA  
 CMOLINA@SPRPACKAGING.COM  
 TEL: 469-402-1232

**OWNER:**  
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 ROCKWALL, TX 75087  
 CONTACT: CAROLINA MOLINA  
 CMOLINA@SPRPACKAGING.COM  
 EMAIL: CMOLINA@SPRPACKAGING.COM  
 TEL: 469-402-1232

~ LINE TABLE ~

NO.	BEARING	DISTANCE
L1	N83°53'38"E	32.63'
L2	S01°01'31"E	17.89'
L3	S88°37'46"E	195.72'
L4	S79°05'55"E	32.05'
L5	S88°51'14"E	20.02'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C1	21774.77'	0°58'11"	368.53'	S88°05'13"W	368.51'

**NOTE:**  
 THE PURPOSE OF THIS PLAT IS TO CREATE 1 NEW LOT.

**NOTE:**  
 SEE PAGE 2 FOR DETAILS  
 SEE PAGE 3 FOR LEGEND

LOT 3 BLOCK A  
 WHITMORE MANUFACTURING ADDITION  
 CABINET H, SLIDE 239

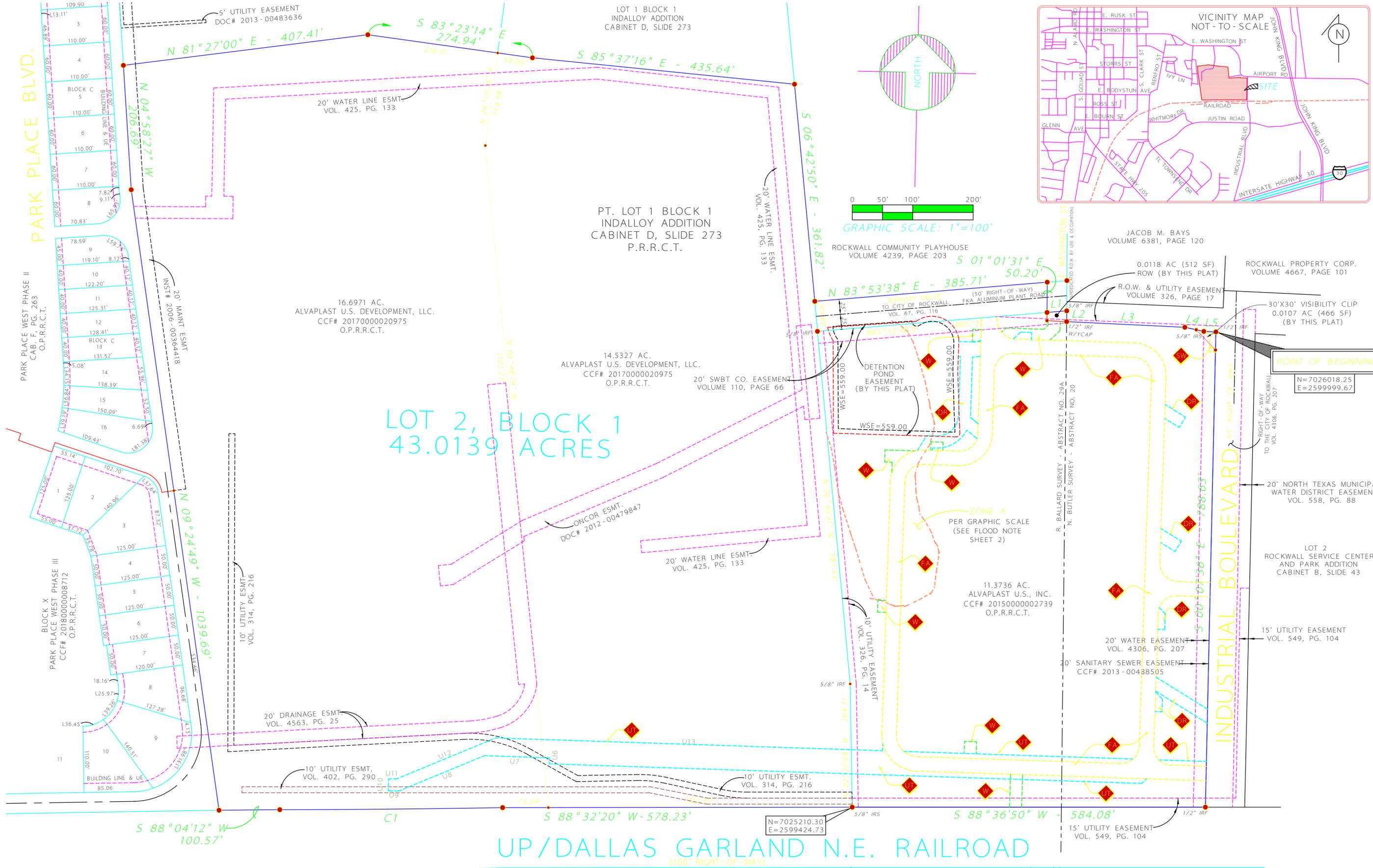
LOT 2 BLOCK A  
 SPR PACKAGING ADDITION  
 CABINET H, SLIDE 155

**FINAL PLAT**  
**LOT 2, BLOCK 1**  
**INDALLOY ADDITION**  
 BEING A REPLAT OF PART OF LOT 1, BLOCK

BEING A 43.0139-ACRE PARCEL  
 N. BUTLER SURVEY - ABSTRACT NO. 20  
 R. BALLARD SURVEY - ABSTRACT NO. 29A  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

JULY 11, 2019

CASE NO. P2019- \_\_\_\_\_



**LOT 2, BLOCK 1**  
**43.0139 ACRES**

**UP/DALLAS GARLAND N.E. RAILROAD**  
 (100' RIGHT-OF-WAY)

**FINAL PLAT**  
**LOT 2, BLOCK 1**  
**INDALLOY ADDITION**

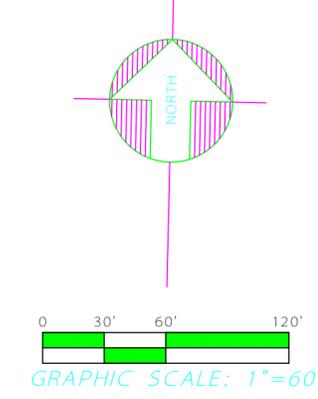
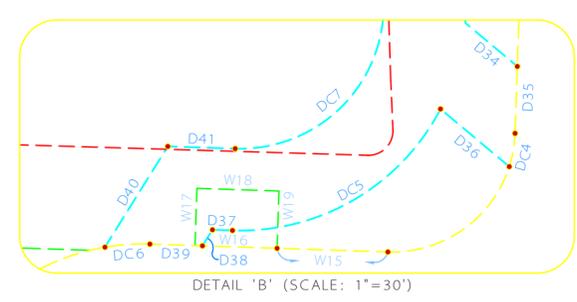
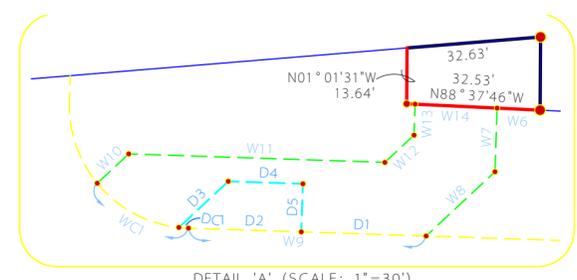
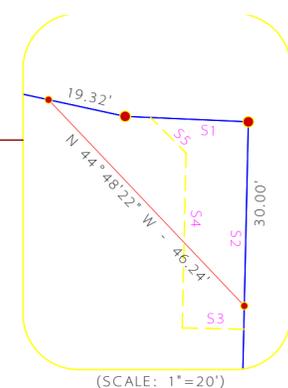
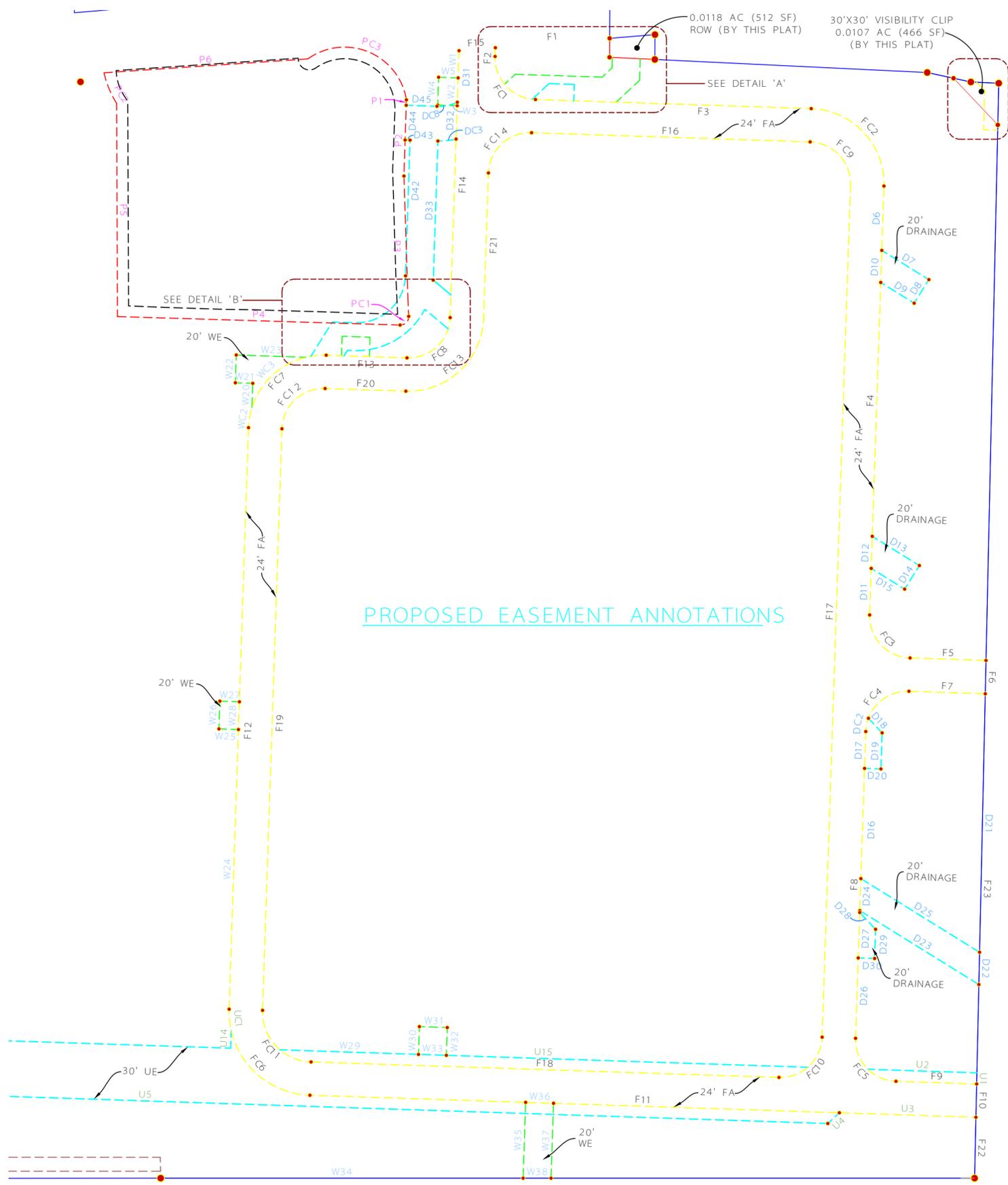
BEING A REPLAT OF PART OF LOT 1, BLOCK

BEING A 43.0139-ACRE PARCEL  
 N. BUTLER SURVEY - ABSTRACT NO. 20  
 R. BALLARD SURVEY - ABSTRACT NO. 29A  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

JULY 11, 2019

CASE NO. P2019- \_\_\_\_\_

PROPOSED EASEMENT ANNOTATIONS



~ LINE TABLE ~

NO.	BEARING	DISTANCE
F1	S83°53'38"W	82.30'
F2	S00°30'52"W	6.28'
F3	S89°29'08"E	198.00'
F4	S00°30'52"W	309.00'
F5	S89°29'08"E	54.54'
F6	S00°07'36"E	24.00'
F7	N89°29'08"W	54.81'
F8	S00°30'52"W	221.00'
F9	S89°29'08"E	57.95'
F10	S00°07'36"E	24.00'
F11	N89°29'08"W	478.22'
F12	N00°30'52"E	419.00'
F13	S89°29'08"E	58.00'
F14	N00°30'52"E	192.27'
F15	N83°53'38"E	26.17'
F16	S89°29'08"E	200.00'
F17	S00°30'52"W	614.00'
F18	N89°29'08"W	336.00'
F19	N00°30'52"E	419.00'
F20	S89°29'08"E	58.00'
F21	N00°30'52"E	105.00'
F22	N00°07'36"W	43.86'
F23	N00°07'36"W	281.02'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
FC1	30.00'	90°00'00"	47.12'	S44°29'08"E	42.43'
FC2	54.00'	90°00'00"	84.82'	N44°29'08"W	76.37'
FC3	30.00'	90°00'00"	47.12'	S44°29'08"E	42.43'
FC4	30.00'	90°00'00"	47.12'	S45°30'52"W	42.43'
FC5	30.00'	90°00'00"	47.12'	S44°29'08"E	42.43'
FC6	60.00'	90°00'00"	94.25'	S44°29'08"E	84.85'
FC7	54.00'	90°00'00"	84.82'	S45°30'52"W	76.37'
FC8	30.00'	90°00'00"	47.12'	N45°30'52"E	42.43'
FC9	30.00'	90°00'00"	47.12'	N44°29'08"W	42.43'
FC10	30.00'	90°00'00"	47.12'	N45°30'52"E	42.43'
FC11	36.00'	90°00'00"	56.55'	S44°29'08"E	50.91'
FC12	30.00'	90°00'00"	47.12'	S45°30'52"W	42.43'
FC13	54.00'	90°00'00"	84.82'	N45°30'52"E	76.37'
FC14	30.00'	90°00'00"	47.12'	S45°30'52"W	42.43'

~ LINE TABLE ~

NO.	BEARING	DISTANCE
D1	N89°29'08"W	30.41'
D2	N89°29'08"W	27.50'
D3	N45°30'52"E	16.49'
D4	S89°29'08"E	18.18'
D5	S00°30'52"W	11.75'
D6	S00°30'52"W	46.12'
D7	S59°29'08"E	39.79'
D8	S30°30'52"W	20.00'
D9	N59°29'08"W	28.25'
D10	N00°30'52"E	23.09'
D11	N00°30'52"E	33.54'
D12	N00°30'52"E	23.09'
D13	S59°29'08"E	39.79'
D14	S30°30'52"W	20.00'
D15	N59°29'08"W	28.25'
D16	N00°30'52"E	79.39'
D17	N00°30'52"E	26.58'
D18	S44°29'08"E	14.38'
D19	S00°30'52"W	26.02'
D20	N89°29'08"W	11.75'
D21	S00°07'36"E	186.15'
D22	S00°07'36"E	23.25'
D23	N59°29'08"W	100.63'
D24	N00°30'52"E	23.09'
D25	S59°29'08"E	100.33'
D26	N00°30'52"E	57.87'
D27	N00°30'52"E	32.77'
D28	S44°29'08"E	16.62'
D29	S00°30'52"W	21.02'
D30	N89°29'08"W	11.75'
D31	S00°30'52"W	37.09'
D32	S00°30'52"W	26.56'
D33	S00°30'52"W	100.21'
D34	S51°21'04"E	16.53'
D35	S00°30'52"W	16.36'
D36	N51°21'04"W	21.89'
D37	N89°29'08"W	4.88'
D38	S30°30'52"W	4.62'
D39	N89°29'08"W	12.81'
D40	N30°30'52"E	29.00'
D41	S89°29'08"E	16.42'
D42	N00°30'52"E	97.76'
D43	N89°29'08"W	3.54'
D44	N00°26'49"E	25.00'
D45	S89°29'08"E	22.06'

~ LINE TABLE ~

NO.	BEARING	DISTANCE
W1	S00°31'14"W	19.58'
W2	S00°30'30"W	20.00'
W3	N89°29'08"W	14.00'
W4	N00°30'52"E	20.00'
W5	S89°29'08"E	14.00'
W6	N88°37'46"W	10.48'
W7	S00°30'52"W	15.56'
W8	S45°30'52"E	22.98'
W9	N89°29'08"W	57.91'
W10	N45°30'52"E	10.50'
W11	S89°29'08"E	62.42'
W12	N45°30'52"E	9.73'
W13	N00°30'52"E	7.58'
W14	S88°37'46"E	20.00'
W15	N89°29'08"W	27.00'
W16	N89°29'08"W	20.00'
W17	N00°30'52"E	14.00'
W18	S89°29'08"E	20.00'
W19	S00°30'52"W	14.00'
W20	N00°30'52"E	17.44'
W21	N89°29'08"W	12.50'
W22	N00°30'52"E	20.00'
W23	S89°29'08"E	49.94'
W24	N00°30'52"E	201.50'
W25	N89°29'08"W	14.00'
W26	N00°30'52"E	20.00'
W27	S89°29'08"E	14.00'
W28	S00°30'52"W	20.00'
W29	S89°29'08"E	99.51'
W30	N00°30'52"E	20.00'
W31	S89°29'08"E	20.00'
W32	S00°30'52"W	20.00'
W33	N89°29'08"W	20.00'
W34	N88°36'50"E	260.10'
W35	N00°30'52"E	54.60'
W36	S89°29'08"E	20.00'
W37	S00°30'52"W	53.94'
W38	S88°36'50"W	20.01'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
WC1	30.00'	48°46'36"	25.54'	S65°05'50"E	24.78'
WC2	54.00'	15°38'34"	14.74'	S08°20'09"W	14.70'
WC3	54.00'	58°42'54"	55.34'	S45°30'52"W	52.95'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
DC1	30.00'	4°28'41"	2.34'	S87°14'48"E	2.34'
DC2	30.00'	18°40'57"	9.78'	S09°51'20"W	9.74'
DC3	57.50'	13°06'41"	13.16'	N82°27'31"E	13.13'
DC4	30.00'	15°49'01"	8.28'	N08°25'23"E	8.26'
DC5	55.00'	64°31'05"	61.93'	N58°15'20"E	58.71'
DC6	54.00'	11°40'16"	11.00'	S84°40'44"W	10.98'
DC7	35.00'	90°00'00"	54.98'	N45°30'52"E	49.50'
DC8	32.50'	26°30'27"	15.04'	N77°15'39"E	14.90'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
PC1	6.00'	93°33'46"	9.80'	N43°33'07"E	8.74'
PC2	70.00'	19°35'53"	23.94'	S23°41'41"E	23.83'
PC3	45.00'	116°49'39"	91.76'	N68°48'02"W	76.67'

~ LINE TABLE ~

NO.	BEARING	DISTANCE
U1	N00°07'36"W	8.00'
U2	N89°29'08"W	78.26'
U3	N89°29'08"W	98.08'
U4	S45°30'52"W	11.31'
U5	N89°29'08"W	980.39'
U6	N00°30'52"E	10.00'
U7	N89°29'08"W	107.54'
U8	S66°07'29"W	152.92'
U9	S88°37'29"W	17.79'
U10	N00°30'52"E	20.01'
U11	N88°37'20"E	13.15'
U12	N66°07'20"E	177.48'
U13	S89°29'08"E	640.06'
U14	N00°30'52"E	12.64'
U15	N89°29'08"W	379.02'

~ LINE TABLE ~

NO.	BEARING	DISTANCE
P1	S00°26'49"W	3.92'
P2	S00°26'49"W	50.98'
P3	S03°13'45"E	101.15'
P4	N89°40'00"W	202.79'
P5	N01°36'22"W	153.52'
P6	N84°42'53"E	146.56'

~ LINE TABLE ~

NO.	BEARING	DISTANCE
S1	S88°51'14"E	15.88'
S2	S00°07'36"E	33.81'
S3	S89°52'24"W	10.00'
S4	N00°07'36"W	28.50'
S5	N46°11'12"W	8.16'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
UC1	60.00'	14°50'08"	15.54'	S06°54'12"E	15.49'

FINAL PLAT  
LOT 2, BLOCK 1  
INDALLOY ADDITION  
BEING A REPLAT OF PART OF LOT 1, BLOCK 1  
BEING A 43.0139-ACRE PARCEL  
N. BUTLER SURVEY - ABSTRACT NO. 20  
R. BALLARD SURVEY - ABSTRACT NO. 29A  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



BLUE SKY SURVEYING & MAPPING, CORPORATION  
11015 MIDWAY ROAD  
DALLAS, TEXAS 75229  
PHONE: (214) 358-4500  
FAX: (214) 358-4600  
DRPETFEE@BLUESKYSURVEYING.COM  
TBPLS REGISTRATION No. 10105700

OWNER:  
ALVAPLAST U.S. DEVELOPMENT, LLC.  
1480 JUSTIN RD  
ROCKWALL, TX 75087  
CONTACT: CAROLINA MOLINA  
CMOLINA@SPRPACKAGING.COM  
TEL: 469-402-1232

OWNER:  
ALVAPLAST U.S., INC.  
1480 JUSTIN RD  
ROCKWALL, TX 75087  
CONTACT: CAROLINA MOLINA  
CMOLINA@SPRPACKAGING.COM  
EMAIL: CMOLINA@SPRPACKAGING.COM  
TEL: 469-402-1232

JULY 11, 2019

CASE NO. P2019- \_\_\_\_\_

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, ALVAPLAST U.S., INC. A DELAWARE CORPORATION, AND ALVAPLAST U.S. DEVELOPMENT, LLC ARE THE OWNERS OF ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE N. BUTLER SURVEY ABSTRACT NO. 20 AND THE R. BALLARD SURVEY, ABSTRACT NO. 29, ROCKWALL COUNTY, TEXAS; AND BEING A PART OF LOT 1, BLOCK 1, INDALLOY ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET D SLIDE 273 OF THE PLAT RECORDS OF ROCKWALL COUNTY TEXAS SAID TRACT BEING THE SAME 11.3736 ACRE OF TRACT OF LAND DESCRIBED IN GENERAL WARRANTY DEED TO ALVAPLAST U.S., INC., A DELAWARE CORPORATION, RECORDED IN INSTRUMENT NUMBER 2150000002739 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS; AND BEING THE SAME 14.53 ACRE TRACT OF LAND DESCRIBED AS TRACT 1 AND 16.69 ACRE TRACT OF LAND DESCRIBED AS TRACT 2 IN GENERAL WARRANTY DEED TO ALVAPLAST U.S. DEVELOPMENT, LLC IN INSTRUMENT NUMBER 20170000020975 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS, AS FOLLOWS:

BEGINNING AT A 1/2 INCH IRON ROD WITH "POGUE ENG & DEV" CAP FOUND AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF INDUSTRIAL BOULEVARD (A 65-FOOT WIDE RIGHT-OF-WAY) AND THE SOUTH RIGHT-OF-WAY LINE OF AIRPORT ROAD (A VARIABLE WIDTH RIGHT-OF-WAY);

THENCE SOUTH 00° 07' 36" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SAID INDUSTRIAL BOULEVARD FOR A DISTANCE OF 788.63 FEET TO A 1/2-INCH IRON ROD WITH "POGUE ENG & DEV" CAP FOUND FOR CORNER IN THE NORTH RIGHT-OF-WAY LINE OF UP/DALLAS GARLAND N.E. RAILROAD (A 100-FOOT WIDE RIGHT-OF-WAY); SAID POINT BEING THE SOUTHEAST CORNER OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT;

THENCE SOUTH 88° 36' 50" WEST DEPARTING THE WEST RIGHT-OF-WAY LINE OF SAID INDUSTRIAL BOULEVARD AND ALONG THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD AND SOUTH LINE OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT FOR A DISTANCE OF 584.08 FEET TO A 5/8" IRON ROD SET FOR CORNER; SAID POINT ALSO BEING THE SOUTHWEST CORNER OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT AND THE SOUTHEAST CORNER OF SAID LOT 1 IN BLOCK 1;

THENCE SOUTH 88° 32' 20" WEST AND ALONG THE SOUTH LINE OF SAID LOT 1 IN BLOCK 1, PASSING AT A DISTANCE OF 502.55, THE SOUTHWEST CORNER OF SAID LOT 1 IN BLOCK 1, SAID POINT ALSO BEING THE COMMON CORNER FOR SAID 14.53 ACRE AND 16.69 ACRE TRACT AND CONTINUING FOR A TOTAL DISTANCE OF 578.23' TO A POINT FOR CORNER, SAID POINT ALSO BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 00° 58' 11" WITH A RADIUS OF 21,774.77 FEET AND A CHORD BEARING SOUTH 88° 05' 13" WEST AT A DISTANCE OF 368.51 FEET;

THENCE SOUTHWESTERLY AND CONTINUING ALONG THE SOUTH LINE OF SAID 16.69 ACRE TRACT, AND ALONG SAID CURVE TO THE RIGHT FOR AN ARC DISTANCE OF 368.53 FEET TO A POINT FOR CORNER;

THENCE SOUTH 88°04' 12" WEST AND CONTINUING ALONG THE SOUTH LINE OF SAID 16.69 ACRE TRACT FOR A DISTANCE OF 100.57 FEET TO A POINT FOR THE SOUTHWEST CORNER OF SAID 16.69 ACRE TRACT, AND BEING THE SOUTHEAST CORNER OF PARK PLACE WEST PHASE III ADDITION, AN ADDITION TO THE CITY OF ROCKWALL ACCORDING TO THE PLAT THEREOF, RECORDED IN COUNTY CLERK'S FILE NUMBER 20180000008712 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE NORTH 09° 24' 49" WEST AND ALONG THE WEST LINE OF SAID 16.69 ACRE TRACT AND ALONG THE EAST LINE OF SAID PARK PLACE WEST PHASE III ADDITION, PASSING AT A DISTANCE OF 534.46 FEET A NORTHEAST CORNER OF SAID PARK PLACE WEST PHASE III ADDITION, SAME BEING A SOUTHEAST CORNER OF PARK PLACE WEST PHASE II ADDITION, AN ADDITION TO THE CITY OF ROCKWALL ACCORDING TO THE PLAT THEREOF, RECORDED IN CABINET F, PAGE 263 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS, AND CONTINUING FOR A TOTAL DISTANCE OF 1,039.69 FEET TO A POINT FOR CORNER;

THENCE NORTH 04° 58' 27" WEST FOR A DISTANCE OF 206.69 FEET TO A POINT FOR THE NORTHWEST CORNER OF SAID 16.69 ACRE TRACT

THENCE NORTH 81° 27' 00" EAST FOR A DISTANCE OF 407.41 FEET TO A POINT FOR THE NORTHERN-MOST CORNER OF SAID 16.69 ACRE TRACT

THENCE SOUTH 83° 23' 14" EAST AND CONTINUING ALONG THE NORTH LINE OF SAID 16.69 ACRE TRACT, PASSING AT A DISTANCE OF 216.91 FEET THE COMMON CORNER OF SAID 16.69 ACRE AND 14.53 ACRE TRACTS, AND CONTINUING FOR A TOTAL DISTANCE OF 274.94' TO A POINT FOR CORNER;

THENCE SOUTH 85° 37' 16" EAST AND FOLLOWING ALONG THE NORTH LINE OF SAID 14.53 ACRE TRACT FOR A DISTANCE OF 435.64' TO A POINT FOR THE NORTHEAST CORNER OF SAID 14.53 ACRE TRACT

THENCE SOUTH 06° 42' 50" EAST FOR A DISTANCE OF 361.82 FEET TO A 5/8" IRON ROD SET FOR CORNER;

THENCE NORTH 83° 53' 38" EAST FOR A DISTANCE OF 385.71 FEET TO A 5/8" IRON ROD SET FOR CORNER;

THENCE SOUTH 01° 01' 31" EAST FOR A DISTANCE OF 50.20 FEET TO A 5/8" IRON ROD SET FOR CORNER;

THENCE SOUTH 83° 53' 38" EAST FOR A DISTANCE OF 32.63 FEET TO A 5/8" IRON ROD SET FOR CORNER;

THENCE SOUTH 01° 01' 31" EAST FOR A DISTANCE OF 17.89 FEET TO A 5/8" IRON ROD SET FOR CORNER;

THENCE 88° 37' 46" EAST FOR A DISTANCE OF 195.72 FEET TO A 1/2" IRON ROD WITH YELLOW CAP FOUND FOR CORNER;

THENCE SOUTH 79° 05' 55" EAST FOR A DISTANCE OF 32.05 FEET TO A 5/8" IRON ROD SET FOR CORNER;

THENCE SOUTH 88° 51' 14" EAST FOR A DISTANCE OF 20.02 FEET TO THE POINT OF BEGINNING AND CONTAINING 43.0139 ACRES (1,873,684 SQUARE FEET) OF LAND MORE OR LESS.

PROPOSED EASEMENTS BY THIS PLAT

- 24' FIRE LANE, PUBLIC ACCESS & UTILITY EASEMENT
UTILITY EASEMENT
WATER EASEMENT
DRAINAGE EASEMENT
SIDEWALK EASEMENT

LEGEND

- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
IRS IRON ROD SET
IRF IRON ROD FOUND

OWNER:

ALVAPLAST U.S., INC.
1480 JUSTIN RD
ROCKWALL, TX 75087
CONTACT: CAROLINA MOLINA
EMAIL: CMOLINA@SPRPACKAGING.COM
TEL: 469-402-1232

OWNER:

ALVAPLAST U.S. DEVELOPMENT, LLC.
1480 JUSTIN RD
ROCKWALL, TX 75087
CONTACT: CAROLINA MOLINA
EMAIL: CMOLINA@SPRPACKAGING.COM
TEL: 469-402-1232

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

WE, THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS LOT 2, BLOCK 1, INDALLOY ADDITION A SUBDIVISION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. WE FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN SAID LAND HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

WE UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. WE ALSO UNDERSTAND THE FOLLOWING;

(1) NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.

(2) ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.

(3) THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.

(4) THE DEVELOPER AND SUBDIVISION ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.

(5) THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.

(6) NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL; OR

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

WE FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; WE, OUR SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

(7) PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, REPAIR, AND RECONSTRUCTION OF ALL SYSTEMS IN DRAINAGE AND DETENTION EASEMENTS.

NOTE: IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS, AND RESOLUTIONS OF THE CITY OF ROCKWALL.

WITNESS, MY HAND AT DALLAS, TEXAS, THIS THE \_\_\_ DAY OF \_\_\_\_\_, 2019.

ALVAPLAST U.S. DEVELOPMENT, LLC. | ALVAPLAST U.S., INC.

BY: \_\_\_\_\_ BY: \_\_\_\_\_

STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS \_\_\_ DAY OF \_\_\_\_\_, 2019.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS \_\_\_ DAY OF \_\_\_\_\_, 2019.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS: THAT I, DAVID PETREE, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

PRELIMINARY

DAVID PETREE
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 1890

FLOOD NOTE

THE SUBJECT PROPERTY IS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS COMMUNITY PANEL NUMBER 48397C0040L, EFFECTIVE DATE: SEPTEMBER 26, 2008. ALL THE SUBJECT PROPERTY IS INDICATED TO BE IN ZONE "X" AND ZONE "A" ON SAID MAP. RELEVANT ZONES ARE DEFINED ON SAID MAP AS FOLLOWS:

ZONE "X" - OTHER AREAS: \*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN\*

ZONE "A" - SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE ANNUAL CHANCE FLOOD: NO BASE FLOOD ELEVATIONS DETERMINED.

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURE THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY THE PART OF THE SURVEYOR.

RECOMMENDED FOR FINAL APPROVAL

PLANNING AND ZONING COMMISSION

PLANNING & ZONING

APPROVED

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_, 2019.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL, COUNTY, TEXAS, WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_\_\_, 2019.

MAYOR, CITY OF ROCKWALL

CITY SECRETARY

CITY ENGINEER



BLUE SKY SURVEYING & MAPPING, CORPORATION
11015 MIDWAY ROAD
DALLAS, TEXAS 75229
PHONE: (214) 358-4500
FAX: (214) 358-4600
DRPETREE@BLUESKYSURVEYING.COM
TBPLS REGISTRATION No. 10105700

FINAL PLAT
LOT 2, BLOCK 1
INDALLOY ADDITION
BEING A REPLAT OF PART OF LOT 1, BLOCK

BEING A 43.0139-ACRE PARCEL
N. BUTLER SURVEY - ABSTRACT NO. 20
R. BALLARD SURVEY - ABSTRACT NO. 29A
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

JULY 11, 2019

CASE NO. P2019-\_\_\_

## City of Rockwall Project Plan Review History



<b>Project Number</b> Z2019-014	<b>Owner</b> GOLIAD REAL, ESTATE LLC	<b>Applied</b> 7/10/2019	LM
<b>Project Name</b> SUP for a Restaurant with a Drive-through	<b>Applicant</b> WIER & ASSOCIATES, INC	<b>Approved</b>	
<b>Type</b> ZONING		<b>Closed</b>	
<b>Subtype</b> SUP		<b>Expired</b>	
<b>Status</b> P&Z HEARING		<b>Status</b> 7/26/2019	DG

<b>Site Address</b> 3009 N GOLIAD ST	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
---	--	---------------

<b>Subdivision</b> CHILDRENS LIGHTHOUSE ADDITION	<b>Tract</b> 1	<b>Block</b>	<b>Lot No</b> 1	<b>Parcel No</b> 0131-0000-0001-00-OR	<b>General Plan</b>
---	-------------------	--------------	--------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/10/2019	7/17/2019	7/12/2019	2	APPROVED	
ENGINEERING	Sarah Hager	7/10/2019	7/17/2019	7/25/2019	15	APPROVED	(7/25/2019 1:02 PM SH) - Move the driveway to Quail Run Road. - - All drive aisles to be a min 24' - Add dumpster drain to oil/wtr seperator, then to storm - 4% Inspection Fees - Impact Fees - Retaining Walls 3' and over must be engineered - All retaining walls to be rock or stone face. No smooth concrete walls - Parking to be 18'X9' - Detention is required. Manning's c-value is per zoning. - A flood study is required if you touch the floodplain. Review fees apply. - Must meet all city standards of design and construction
FIRE	Ariana Hargrove	7/10/2019	7/17/2019	7/18/2019	8	APPROVED	
PLANNING	David Gonzales	7/10/2019	7/17/2019	7/23/2019	13	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
						<p>Hold a public hearing to discuss and consider a request by Jake Fears, PE of Weir &amp; Associates, Inc. on behalf of Goliad Real Estate, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant, Less than 2,000 SF, with a Drive-Through or Drive-In on a 0.50-acre portion of a larger 2.542-acre tract of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N Goliad Street [SH-205], and take any action necessary.</p> <p>*PLANNING COMMENTS - DAVID GONZALES – 07.23.2019</p> <p>All staff comments are to be addressed and resubmitted by Tuesday August 6, 2019. Please provide two (2) large copies [FOLDED] and one PDF version for a final/subsequent review by staff:</p> <p>Planning Department General Comments to be addressed/acknowledge are as follows:</p> <ul style="list-style-type: none"> <li>• On all future submittals please include the Case Number Z2019-014 on the lower right hand corner.</li> <li>• When provided, please review the SUP Draft Ordinance prior to the Planning &amp; Zoning public hearing scheduled for August 13, 2019 and return with red lined corrections and/or additions you feel may be necessary for staff review and consideration</li> </ul> <p>** Planning Staff additional comments to be considered by the P&amp;Z and City Council as conditions of approval (conditions may change at the discretion of Council):</p> <ol style="list-style-type: none"> <li>1. Approval of an SUP is required to allow for development and operation of a restaurant less than 2,000 SF with a drive-through or drive-in land use for the subject property.</li> <li>2. Adherence to all Engineering and Fire Department standards shall be required</li> <li>3. Provide staff with a legal description that incorporates only that portion of the lot for the restaurant use being requested and requiring the SUP (i.e. ~0.50-acres). *** Operational Conditions: <ol style="list-style-type: none"> <li>1) The development and operation of a restaurant land use shall generally conform to the Concept Plan depicted in Exhibit 'B' of the proposed ordinance;</li> <li>2) The building elevations shall generally conform to the concept building elevations depicted in Exhibit 'C' of this ordinance; however, the elevations shall be subject to review and recommendation by the Architectural Review Board (ARB).</li> </ol> </li> </ol> <p>The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the SUP request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>*** Meeting Dates to Attend ***</p> <p>Planning - Work Session: July 30, 2019 (6:00 p.m.) [Applicant to present case to P&amp;Z for discussion]</p> <p>Planning - Public Hearing: August 13, 2019 (6:00 p.m.) [P&amp;Z to take action (i.e. approve, approve with conditions, or deny, etc.)]</p>

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
City Council - Public Hearing: August 19, 2019 (6:00 p.m.) [1st Reading of SUP Ordinance]						
City Council - Consent/Action Item: September 3, 2019 (6:00 p.m.) [2nd Reading of SUP Ordinance (if approved at 1st reading)]						

### LEGEND

- PARKING COUNT
- LANDSCAPE AREA (RE: LANDSCAPE PLAN)
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- RIGHT-OF-WAY DEDICATION

### GENERAL NOTES:

1. DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
2. ALL PROPOSED CURB RADIUS ARE 3.0' F/C. WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
3. SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
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### FEMA NOTE

FLOOD STATEMENT: ACCORDING TO COMMUNITY PANEL NO. 48397C0030L, DATED SEPTEMBER 26, 2008, OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM MAP, THIS PROPERTY IS WITHIN FLOOD ZONES 'A' AND 'X'. PART OF THIS PROPERTY LIES WITHIN ZONES 'A'. AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN. IF PARTS OF THE SITE ARE NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES, THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WIER & ASSOCIATES, INC.

### DEVELOPER

GRAND CENTRAL CROSSING, LLC  
 CONTACT: CHAD BOOSE  
 8350 N CENTRAL EXPWY, STE I300  
 DALLAS, TEXAS 75206  
 PHONE: (214) 891-3215  
 FAX: (214) 891-3203  
 CHAD@JTEVANS.COM

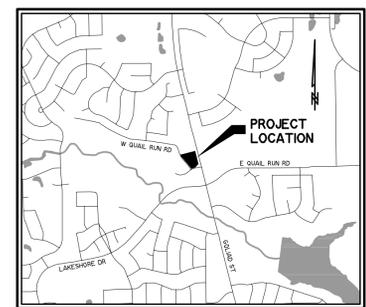
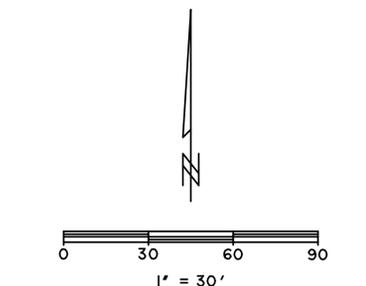
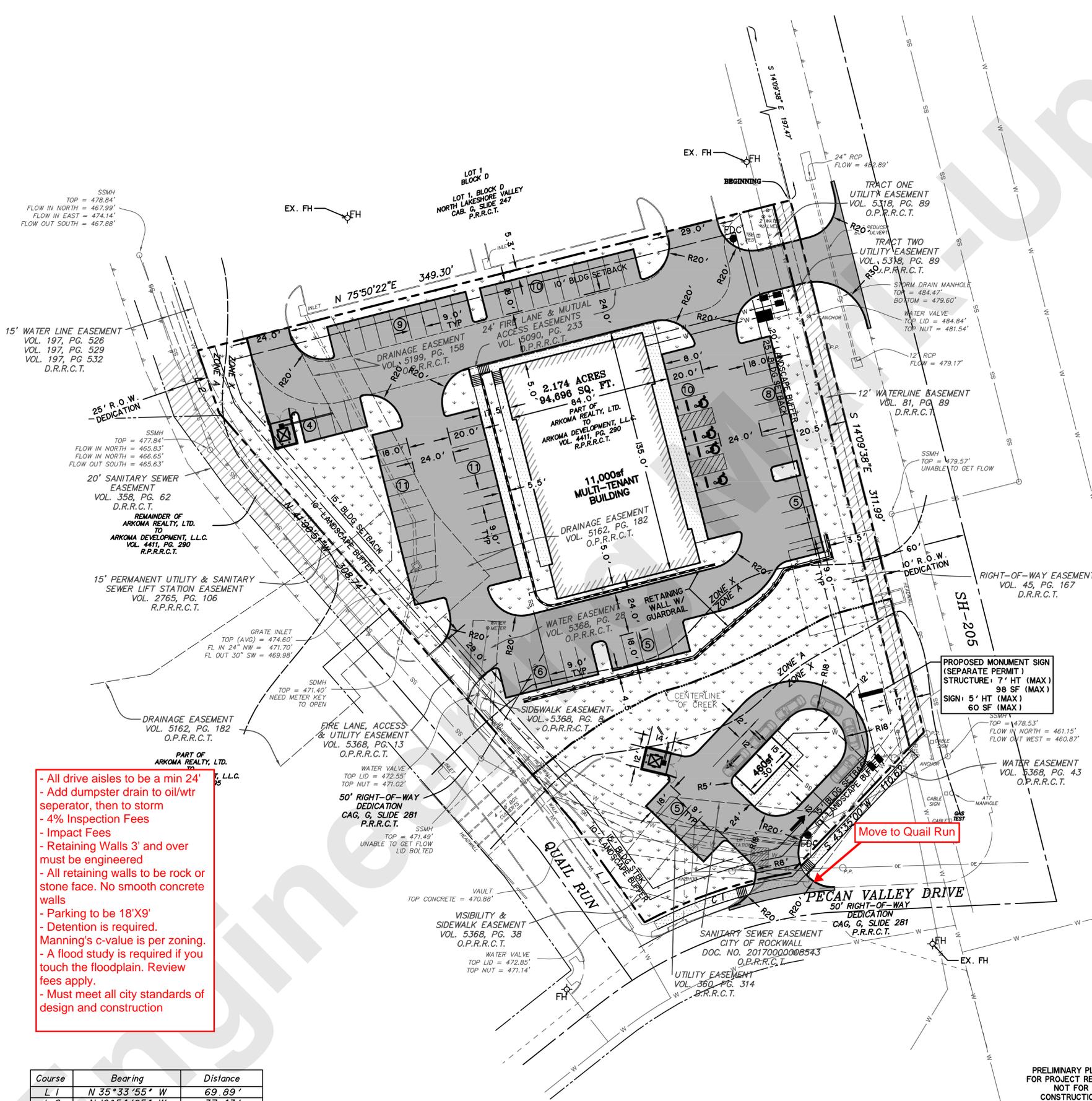
### ENGINEER

WIER & ASSOCIATES  
 CONTACT: JAKE FEARS, P.E.  
 2201 E. LAMAR BLVD., SUITE #200E  
 ARLINGTON, TX 76006  
 PHONE: (817) 467-7700  
 FAX: (817) 467-7713  
 JAKEF@WIERASSOCIATES.COM

Course	Bearing	Distance
L 1	N 35°33'55" W	69.89'
L 2	N 18°54'05" W	37.43'

Curve	Radius	Length	Delta	Chord	Chord Bear.
C 1	275.00'	88.33'	18°24'13"	87.95'	S 71°24'38" W

- All drive aisles to be a min 24'  
 - Add dumpster drain to oil/wtr separator, then to storm  
 - 4% Inspection Fees  
 - Impact Fees  
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 - All retaining walls to be rock or stone face. No smooth concrete walls  
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 Manning's c-value is per zoning.  
 - A flood study is required if you touch the floodplain. Review fees apply.  
 - Must meet all city standards of design and construction



VICINITY MAP  
1" = 2,000'

### SITE DATA CHART

ZONING	PD-65 W/ N. SH-205 OVERLAY
EXISTING USE	VACANT / UNDEVELOPED
PROPOSED USE	MIXED-USE (COMMERCIAL)
LOT AREA	2.174± AC (94,696 SF) NORTH (ARTIFICIAL): 1.682± AC (73,271 SF) SOUTH (ARTIFICIAL): 0.492± AC (21,425 SF)
BUILDING AREA (NORTH)	RETAIL: 8,000 SF RESTAURANT: 3,000 SF TOTAL: 11,000 SF
BUILDING AREA (SOUTH)	RESTAURANT: 460 SF * *(REQUIRES SUP APPROVAL)*
BUILDING HEIGHT	NORTH: 25'-0" SOUTH: 18'-0"
BUILDING SETBACKS	HIGHWAY 205: 25' PECAN VALLEY DR: 15' QUAIL RUN RD: 15' INTERNAL: 10'
PARKING REQ'D (NORTH)	8,000 SF RETAIL: 1/250 SF = 32 3,000 SF RESTAURANT: 1/100 SF = 30 TOTAL = 62
PARKING REQ'D (SOUTH)	460 SF RESTAURANT: 1/100 SF = 5
ACCESSIBLE PARKING PROVIDED	4
TOTAL PARKING PROVIDED	84
BUILDING/LOT COVERAGE	12.1%
LANDSCAPE AREA	37,297 SF
LANDSCAPE COVERAGE	39.4%

### SUP SITE PLAN RESTAURANT 105 PECAN VALLEY DR ROCKWALL, TEXAS

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS

July 9, 2019

PREPARED BY:  
**WIA WIER & ASSOCIATES, INC.**  
 ENGINEERS SURVEYORS LAND PLANNERS

PRELIMINARY PLANS FOR PROJECT REVIEW.  
 NOT FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.  
 Prepared By/Or Under Direct Supervision Of Jacob H. Fears, PE  
 Texas Registration No. 99376  
 On Date Shown Below.

2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
 Texas Firm Registration No. F-2776 www.WierAssociates.com



Z2019-014 - SUP FOR A RESTAURANT WITH A DRIVE-THROUGH  
ZONING - LOCATION MAP =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

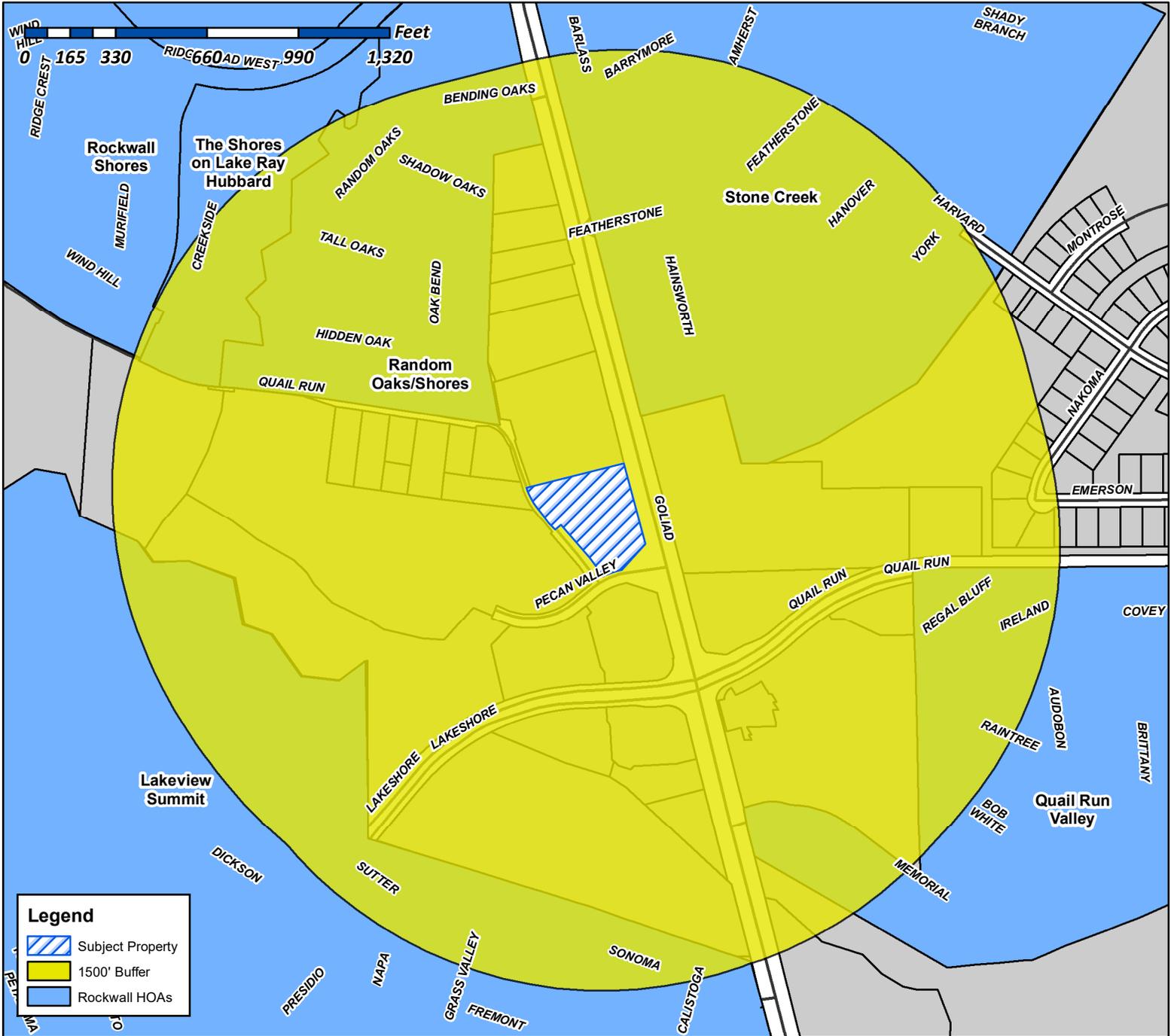
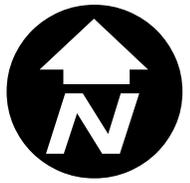




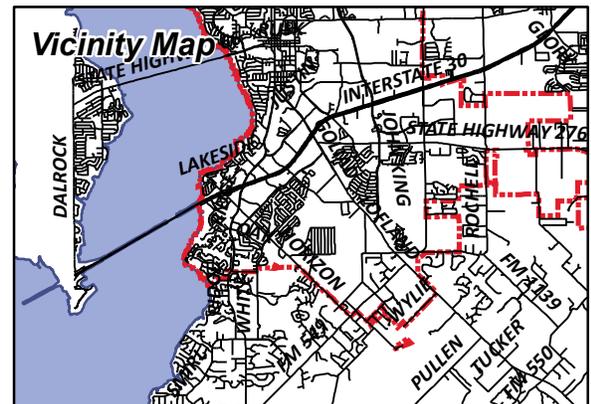
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
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**Case Number:** Z2019-014  
**Case Name:** SUP for a Restaurant with a Drive-through  
**Case Type:** Zoning  
**Zoning:** Planned Development 70 (PD-70) District  
**Case Address:** 150 Pecan Valley Drive



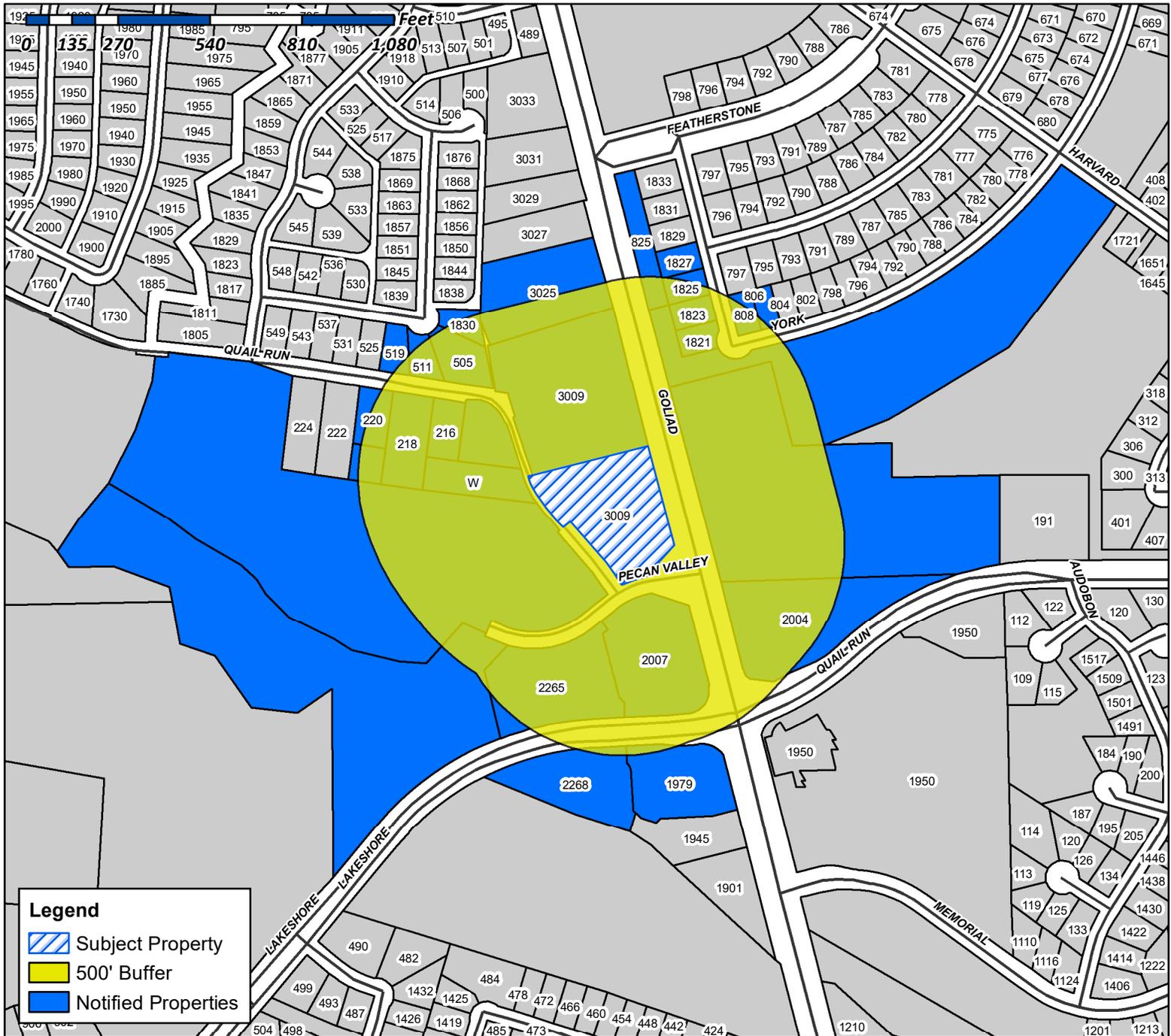
**Date Created:** 7/10/2019  
**For Questions on this Case Call** (972) 771-7745



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385 S. Goliad Street  
Rockwall, Texas 75087  
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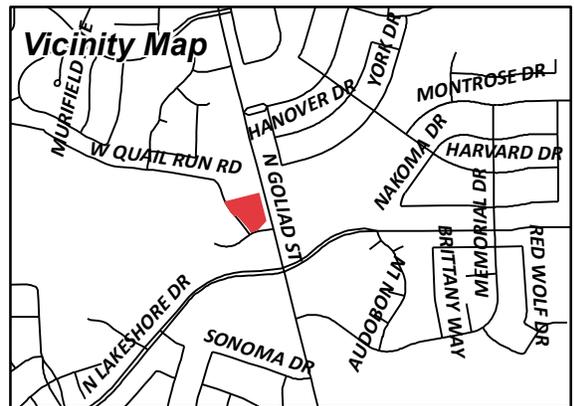
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**Legend**

-  Subject Property
-  500' Buffer
-  Notified Properties

**Case Number:** Z2019-014  
**Case Name:** SUP for a Restaurant with a Drive-through  
**Case Type:** Zoning  
**Zoning:** Planned Development 70 (PD-70) District  
**Case Address:** 150 Pecan Valley Drive



**Date Created:** 7/10/2019  
 For Questions on this Case Call (972) 771-7745

ROCKWALL STONE CREEK ESTATES  
HOMEOWNERS ASSOCIATION INC  
C/O NEIGHBORHOOD MANAGEMENT INC  
1024 S GREENVILLE AVE SUITE 230  
ALLEN, TX 75002

M REA PROPERTIES 2 LLC  
1234 TRALEE LN  
GARLAND, TX 75044

PACESETTER HOMES LLC  
14400 THE LAKES BLVD BUILDING C, SUITE 200  
AUSTIN, TX 78660

CHAPMAN BOBBY E II AND AMY L CHAMPMAN  
1821 HAINSWORTH DRIVE  
ROCKWALL, TX 75087

MOORE MICHAEL RAY JR & STEPHANIE  
1823 HAINSWORTH DRIVE  
ROCKWALL, TX 75087

MORGAN RAYMOND L JR AND STEPHANIE L  
1825 HAINSWORTH DR  
ROCKWALL, TX 75087

ESCOBEDO OMAR & MARIA C  
1827 HAINSWORTH DRIVE  
ROCKWALL, TX 75087

SLOAN CHRISTOPHER A & MISTI D  
1830 OAK BEND DRIVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1979 N GOLIAD ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
2004 N GOLIAD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
2007 N GOLIAD  
ROCKWALL, TX 75087

ARKOMA DEVELOPMENT LLC  
203 E INTERSTATE 30  
ROCKWALL, TX 75087

DEAN LANTY W & MARY F  
216 W QUAIL RUN RD  
ROCKWALL, TX 75087

HYDE TRENT D & DEBRA A  
218 W QUAIL RUN RD  
ROCKWALL, TX 75087

HUNTER MICHAEL B & VICKIE D  
220 W QUAIL RUN RD  
ROCKWALL, TX 75087

HUNTER MICHAEL B & VICKIE D  
220 W QUAIL RUN RD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
2265 NORTH LAKESHORE DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
2268 N LAKESHORE DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
3009 N GOLIAD ST  
ROCKWALL, TX 75087

CLARK TROY & JANICE  
3025 N GOLIAD ST  
ROCKWALL, TX 75087

COLE HC ROCKWALL TX LLC  
C/O ROCKWALL REGIONAL HOSPITAL, LLC; ATTN  
LEGAL DEPT.  
3150 HORIZON RD  
ROCKWALL, TX 75032

JAVKER REALTY CORP  
42 BOND ST  
NEW YORK, NY 10012

ARRIAGA HENRY  
505 HIDDEN OAK LN  
ROCKWALL, TX 75087

JASMAN JAMES BLAKE  
511 HIDDEN OAK LN  
ROCKWALL, TX 75087

MURRAY NANCY J  
519 HIDDEN OAK LN  
ROCKWALL, TX 75087

REBAC OF ROCKWALL, LLC  
6000 UNIVERSITY AVE STE 350  
WEST DES MOINES, IA 50266

GOLIAD REAL ESTATE LLC  
7700 EASTERN AVENUE SUITE 705  
DALLAS, TX 75209

REY LUIS SR AND JUDY L  
806 YORK DR  
ROCKWALL, TX 75087

ODEYEMI ADETUNJI  
808 YORK DR  
ROCKWALL, TX 75087

MOORE WORTH INVESTMENTS LLC  
8445 FREEPORT PKWY SUITE 175  
IRVING, TX 75063



**WIER & ASSOCIATES, INC.**  
 ENGINEERS  
 SURVEYORS  
 LAND PLANNERS

July 9, 2019

City of Rockwall  
 Planning & Zoning Dept.  
 385 S. Goliad St  
 Rockwall, Texas 75087

**PRINCIPALS**  
 JOHN P. WIER, P.E., R.P.L.S.  
 ULYS LANE III, P.E., R.P.L.S., CFM  
 CARLO SILVESTRI, P.E.  
 GREGG MADSEN, R.P.L.S.

**SENIOR ASSOCIATES**  
 PHILIP L. GRAHAM, P.E.  
 JAKE H. FEARS, P.E., LEED AP BD+C  
 RANDALL S. EARDLEY, P.E.

**ASSOCIATES**  
 TOBY W. RODGERS  
 CASEY D. YORK  
 PRIYA N. ACHARYA, P.E.  
 TIM V. WALLACE, P.E.

**RE: LETTER OF EXPLANATION – SPECIFIC USE PERMIT  
 150 PECAN VALLEY DR (NW CORNER OF GOLIAD & PECAN VALLEY)  
 W&A# 19022**

Dear Planning and Zoning Staff:

The John T. Evans Company, Inc. intends to develop an approximate 2.246-acre parcel of land, zoned as PD-65 within the N. SH-205 Overlay District, and situated in the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas. Said property is generally located at the northwest corner of Goliad St and Pecan Valley Dr and is addressed as 150 Pecan Valley Dr.

This Letter of Explanation is accompanying a submittal for a Specific Use Permit request for the approval to construct a 460-sf drive-through only coffee shop, a *restaurant, less than 2,000-sf, with drive-through or drive-in facilities*. The developable area south of the existing creek is bound by several site constraints, which include easements, right-of-way dedication, and floodplain. The restaurant, if approved, will not be constructed until the proposed City sanitary sewer main re-alignment is in place and the existing lift station is abandoned.

We request that the review of the Specific Use Permit application for the property noted above be acted upon by staff. Please contact the developer, Chad DuBose with John T. Evans Company, Inc., by phone at 214-701-8455 or via email at chad@jtevans.com or the developer’s engineer, Jake Fears, P.E. with Wier & Associates, Inc., by phone at 817-269-5011 or via email at jakef@wierassociates.com with any questions or comments.

Respectfully,

Jake Fears, P.E., LEED AP  
 Senior Associate

2201 E. LAMAR BLVD., SUITE 200E  
 ARLINGTON, TEXAS 76006-7440  
 (817) 467-7700  
 FAX (817) 467-7713

WWW.WIERASSOCIATES.COM

121 S. MAIN ST.  
 HENDERSON, TEXAS 75654-3559  
 (903) 722-9030  
 TOLL FREE FAX (844) 325-0445

LEGEND

- (X) PARKING COUNT
- (Dotted pattern) LANDSCAPE AREA (RE: LANDSCAPE PLAN)
- (Horizontal lines) CONCRETE SIDEWALK
- (Vertical lines) CONCRETE PAVEMENT
- (Diagonal lines) RIGHT-OF-WAY DEDICATION

GENERAL NOTES:

- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
- ALL PROPOSED CURB RADIUS ARE 3.0' F/C. WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
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DEVELOPER

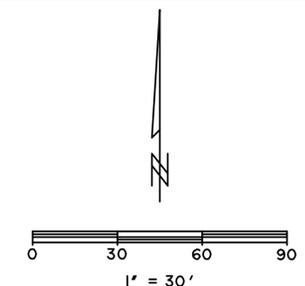
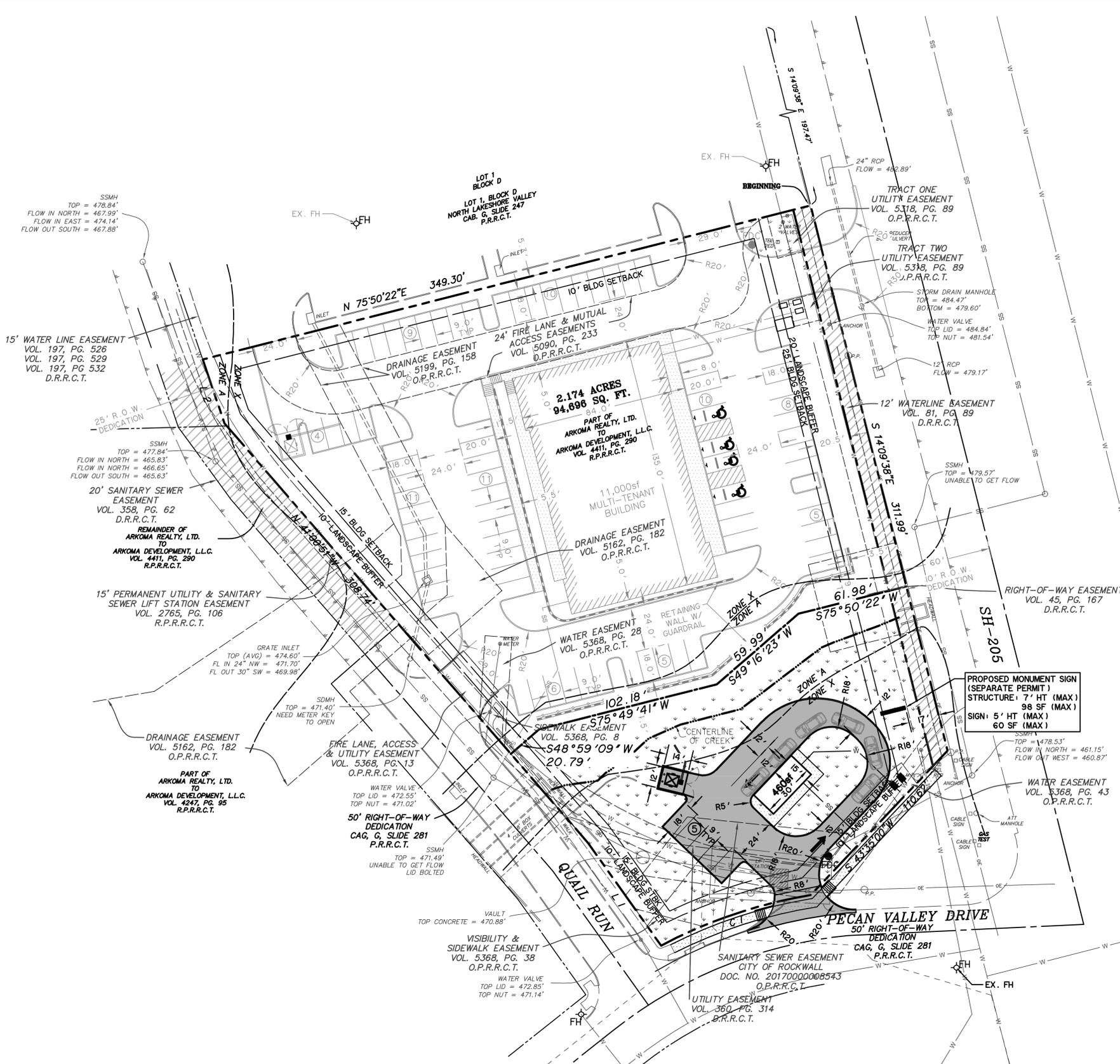
GRAND CENTRAL CROSSING, LLC  
 CONTACT: CHAD DUBOSE  
 8350 N CENTRAL EXPWY, STE I300  
 DALLAS, TEXAS 75206  
 PHONE: (214) 891-3215  
 FAX: (214) 891-3203  
 CHAD@JTEVANS.COM

ENGINEER

WIER & ASSOCIATES  
 CONTACT: JAKE FEARS, P.E.  
 2201 E. LAMAR BLVD., SUITE #200E  
 ARLINGTON, TX 76006  
 PHONE: (817) 467-7700  
 FAX: (817) 467-7713  
 JAKEFE@WIERASSOCIATES.COM

Course	Bearing	Distance
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LOT AREA	2.174± AC (94,696 SF) NORTH (ARTIFICIAL): 1.682± AC (73,271 SF) SOUTH (ARTIFICIAL): 0.492± AC (21,425 SF)
BUILDING AREA (NORTH)	RETAIL: 8,000 SF RESTAURANT: 3,000 SF TOTAL: 11,000 SF
BUILDING AREA (SOUTH)	RESTAURANT: 460 SF * *(REQUIRES SUP APPROVAL)*
BUILDING HEIGHT	NORTH: 25'-0" SOUTH: 18'-0"
BUILDING SETBACKS	HIGHWAY 205: 25' PECAN VALLEY DR: 15' QUAIL RUN RD: 15' INTERNAL: 10'
PARKING REQ'D (NORTH)	8,000 SF RETAIL: 1/250 SF = 32 3,000 SF RESTAURANT: 1/100 SF = 30 TOTAL = 62
PARKING REQ'D (SOUTH)	460 SF RESTAURANT: 1/100 SF = 5
ACCESSIBLE PARKING PROVIDED	4
TOTAL PARKING PROVIDED	84
BUILDING/LOT COVERAGE	12.1%
LANDSCAPE AREA	37,297 SF
LANDSCAPE COVERAGE	39.4%

SUP SITE PLAN  
 RESTAURANT  
 150 PECAN VALLEY DR  
 ROCKWALL, TEXAS

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS

July 23, 2019

PREPARED BY:  
**WIA WIER & ASSOCIATES, INC.**  
 ENGINEERS SURVEYORS LAND PLANNERS

2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
 Texas Firm Registration No. F-2776 www.WierAssociates.com

PRELIMINARY PLANS FOR PROJECT REVIEW. NOT FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. Prepared By/Or Under Direct Supervision Of Jacob H. Fears, PE Texas Registration No. 99376 On Date Shown Below.

## DESCRIPTION

All that certain lot, tract or parcel of land situated in the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, and being part of that tract of land described in a Deed from Arkoma Realty, Ltd., to Arkoma Development, L.L.C., as recorded in Volume 4411, Page 290 of the Real Property Records of Rockwall County, Texas (hereinafter called Subject Tract), and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with plastic cap stamped "STOVALL & ASSOC." set (hereinafter called 1/2" iron rod set) for corner in the West line of State Highway No. 205 at the Southeast corner of Lot 1, Block D of Lot 1, Block D, North Lakeshore Valley, an Addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet G, Slide 247 of the Plat Records of Rockwall County, Texas, said point being S. 14 deg. 09 min. 38 sec. E. a distance of 197.47 feet from a 5/8" iron rod found at the Northeast corner of the above cited Subject Tract;

THENCE S. 14 deg. 09 min. 38 sec. E. with the West line of State Highway No. 205 a distance of 311.99 feet to a concrete monument found for corner;

THENCE S. 43 deg. 35 min. 00 sec. W. with a Northwest line of State Highway No. 205 a distance of 110.62 feet to an "X" cut in concrete found for corner at the intersection of the Northwest line of State Highway No. 205 with the North line of Pecan Valley Drive (50' right-of-way per plat recorded in Cabinet G, Slide 281, Plat Records of Rockwall County, Texas), said point also being an East corner of the Final Plat of North Lakeshore Valley, Lots 1 & 2, Block B, an Addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet G, Slide 281 of the Plat Records of Rockwall County, Texas (hereinafter called North Lakeshore Valley Plat), said point also being at the beginning of a non-tangent curve to the left;

THENCE in a Southwesterly direction with the North line of Pecan Valley Drive and with said non-tangent curve to the left having a central angle of 18 deg. 24 min. 13 sec., a radius of 275.00 feet, a chord bearing of S. 71 deg. 24 min. 38 sec. W., a chord distance of 87.95 feet and an arc length of 88.33 feet to a 1/2' iron rod set for corner at an interior corner of said North Lakeshore Valley Plat;

THENCE N. 35 deg. 33 min. 55 sec. W. with a Northeast line of said North Lakeshore Valley Plat a distance of 69.89 feet to a 1/2" iron rod set for corner;

THENCE N. 41 deg. 00 min. 51 sec. W. with a Northeast line of said North Lakeshore Valley Plat, passing a 5/8" iron rod found at a North corner of said North Lakeshore Valley Plat at a distance of 160.70 feet, and continuing for a total distance of 308.74 feet to a 1/2" iron rod set for corner;

THENCE N. 18 deg. 54 min. 05 sec. W. a distance of 37.43 feet to a 5/8" iron rod with cap stamped "KHA" found for corner at the Southwest corner of Lot 1, Block D;

THENCE N. 75 deg. 50 min. 22 sec. E. with the South line of Lot 1, Block D a distance of 349.30 feet to the POINT OF BEGINNING and containing 2.246 acres or 97,847 square feet of land.

CITY OF ROCKWALL

ORDINANCE NO. 19-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 65 (PD-65) [ORDINANCE NO. 17-03] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A RESTAURANT, LESS THAN 2,000 SF, WITH DRIVE-THROUGH OR DRIVE-IN FACILITIES ON A 0.2174-ACRE TRACT OF LAND ZONED PLANNED DEVELOPMENT DISTRICT 65 (PD-65) AND IDENTIFIED AS TRACT 1 OF THE S. KING SURVEY, ABSTRACT NO. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a request has been made by Jake Fears, P.E. of Weir & Associates, Inc. for the approval of a Specific Use Permit (SUP) for the purpose constructing a *Restaurant, Less than 2,000 SF, with Drive-Through or Drive-In Facilities* on a 2.174-acre tract of land, zoned Planned Development District 65 (PD-65) [Ordinance No. 17-03] for General Retail (GR) District land uses, and being identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, generally located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 65 (PD-65) [Ordinance No. 17-03] and the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That Planned Development District 65 (PD-65) [Ordinance No. 17-03] and the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Restaurant, Less than 2,000 SF, with Drive-Through or Drive-In Facilities* as stipulated by Planned Development District 65 (PD-65) [Ordinance No. 17-03] and Article IV, *Permissible Uses*, of the Unified Development Code [Ordinance No. 04-38] on the *Subject Property*; and

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Planned Development District 65 (PD-65) [Ordinance No. 17-03] and Section 6.11, North SH-205 Corridor Overlay (N. SH-205 OV) District, of Article V, District Development Standards, of the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein by the granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In Facilities* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The site plan shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- 2) Additional landscaping shall be required along *Pecan Valley Drive* and *N. Goliad Street* to provide headlight screening for vehicles traveling on *N. Goliad Street* from the vehicles in the drive-through cueing lane.
- 3) The building elevations will be subject to review by the Architectural Review Board (ARB) and shall incorporate architectural elements that give the appearance of a front entry on *N. Goliad Street* and *Quail Run Road*.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- 1) Upon obtaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4.(3) of Article IV, *Permissible Uses*, of the Unified Development Code (UDC).

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the

application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 2<sup>ND</sup> DAY OF SEPTEMBER, 2019.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: August 19, 2019

2<sup>nd</sup> Reading: September 2, 2019

**Exhibit 'A':**  
*Legal Description*

All that certain lot, tract or parcel of land situated in the S. King Survey, Abstract No. 131. City of Rockwall, Rockwall County, Texas, and being part of that tract of land described In a Deed from Arkoma Realty, LTD, to Arkoma Development, LLC, as recorded in Volume 4411, Page 290 of the Real Property Records of Rockwall County, Texas (*hereinafter called Subject Tract*), and being more particularly described as follows:

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*THENCE* S. 14 deg. 09 min. 38 sec. E. with the West line of State Highway No. 205 a distance or 311.99 feet to a concrete monument round for corner;

*THENCE* S. 43 deg. 35 min. 00 sec. W. with a Northwest line of State Highway No. 205 a distance of 110.62 feet to an "X" cut In concrete found for corner at the intersection of the Northwest line of State Highway No. 205 with the North line of Pecan Valley Drive (*50' right-of-way per plat recorded In Cabinet G, Slide 281, Plat Records of Rockwall County, Texas*), said point also being an East corner of the Final Plat of North Lakeshore Valley, Lots 1 & 2, Block B. an Addition to the City of Rockwall, according to the Plat thereof recorded In Cabinet G, Slide 281 or the Plat Records of Rockwall County, Texas (*hereinafter called North Lakeshore Valley Plat*), said point also being at the beginning of a non-tangent curve to the left;

*THENCE* in a Southwesterly direction with the North line of Pecan Valley Drive and with said non-tangent curve to the left having a central angle of 16 deg. 24 min. 13 sec. a radius of 275.00 feet, a chord bearing of S. 71 deg. 24 min. 38 sec. W., a chord distance of 87.95 feet and an arc length of 88.33 feet to a ½" iron rod set for corner at an interior corner of said North Lakeshore Valley Plat;

*THENCE* N. 35 deg. 33 min. 55 sec. W. with a Northeast line of said North Lakeshore Valley Plat a distance of 69.89 feet to a ½" iron rod set for corner;

*THENCE* N. 41 deg. 00 min. 51 sec. W. with a Northeast line of said North Lakeshore Valley Plat. passing a 5/8" iron rod found at a North corner of said North Lakeshore Valley Plat at a distance of 160.70 feet, and continuing for a total distance of 308.74 feet to a ½" iron rod set for corner;

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*THENCE* N. 75 deg. 50 min. 22 sec. E. with the South line of Lot I. Block D a distance or 349.30 feet to the *POINT OF BEGINNING* and containing 2.246 acres or 97,847 square feet of land.



## City of Rockwall Project Plan Review History



<b>Project Number</b> Z2019-015	<b>Owner</b> JUCHA, RHETT BARRY	<b>Applied</b> 7/10/2019 LM
<b>Project Name</b> SUP for Kwik Kar	<b>Applicant</b> GREG WALLIS	<b>Approved</b>
<b>Type</b> ZONING		<b>Closed</b>
<b>Subtype</b> SUP		<b>Expired</b>
<b>Status</b> Staff Review		<b>Status</b>

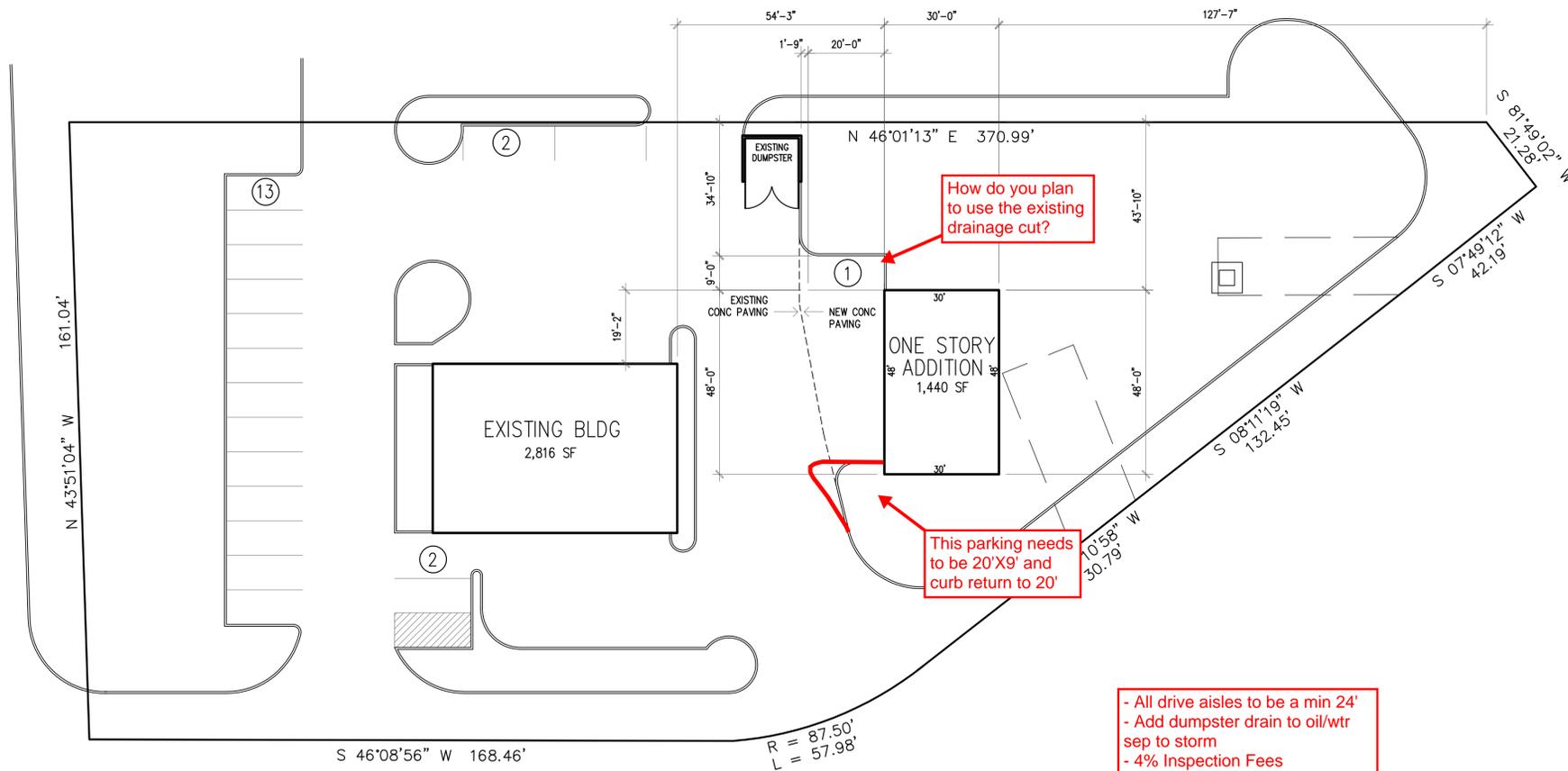
<b>Site Address</b> 2581 HORIZON RD	<b>City, State Zip</b> ROCKWALL, TX 75032	<b>Zoning</b>
--	--	---------------

<b>Subdivision</b> HORIZON CARWASH ADDITION	<b>Tract</b> 4	<b>Block</b> 1	<b>Lot No</b> 4	<b>Parcel No</b> 4011-0001-0004-00-OR	<b>General Plan</b>
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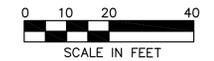
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/15/2019	7/22/2019	7/15/2019		APPROVED	
ENGINEERING (7/25/2019 11:41 AM SH) - How do you plan to use the existing drainage cut? - This parking needs to be 20'X9' and curb return to 20'. - All drive aisles to be a min 24' - Add dumpster drain to oil/wtr sep to storm - 4% Inspection Fees - Impact Fees - Retaining Walls 3' and over must be engineered - All retaining walls to be rock or stone face. No smooth concrete walls - Parking to be 20'X9' - Paving to be 3600psi (6.5 sack mix) - Must have sand traps approved for car wash - using the same tap as the existing building - Must meet all city standards of design and construction	Sarah Hager	7/10/2019	7/17/2019	7/25/2019	15	APPROVED	
FIRE	Ariana Hargrove	7/10/2019	7/17/2019	7/18/2019	8	APPROVED	
PLANNING	Korey Brooks	7/10/2019	7/17/2019	7/25/2019	15	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2019-015 SUP for Minor Auto Repair Garage						
Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1 This a request by Greg Wallis of Mershawn Architects on behalf of the owner for the approval of a Specific Use Permit (SUP) for the expansion of an existing Minor Auto Repair Garage on a 1.1107-acre parcel of land identified as Lot 4, Block 1, Horizon Village Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 2581 Horizon Road [FM-3097].						
I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (Z2019-015) in the lower right hand corner of all pages on future submittals.						
M.4 Please review the attached draft ordinance prior to the August 13, 2019 Planning & Zoning Commission meeting.						
M.5 Will any additional lighting be added? If so, a Photometric Plan will be required.						
M.6 A ten (10) foot landscape buffer incorporating ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. The landscape buffer shall also include 1 canopy tree per 50-linear feet of frontage.						
I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by August 6, 2019. The Planning and Zoning Worksession for this case is July 30, 2019. The Planning and Zoning Meeting for this case is August 13, 2019.						
I.8 The projected City Council meeting date and subsequent approval for this request is August 19, 2019 and September 3, 2019.						

# HORIZON ROAD

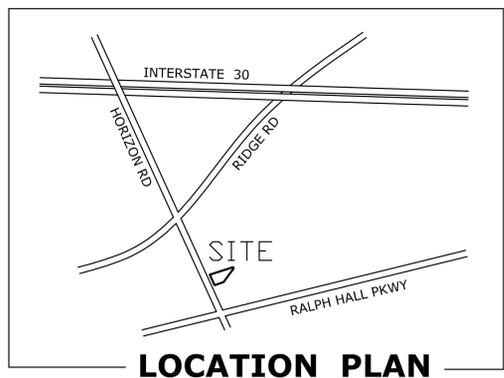


- All drive aisles to be a min 24'
- Add dumpster drain to oil/wtr sep to storm
- 4% Inspection Fees
- Impact Fees
- Retaining Walls 3' and over must be engineered
- All retaining walls to be rock or stone face. No smooth concrete walls
- Parking to be 20'X9'
- Paving to be 3600psi (6.5 sack mix)
- Must have sand traps approved for car wash
- using the same tap as the existing building
- Must meet all city standards of design and construction



**PRICING & CONSTRUCTION**  
**GENERAL NOTES:**

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.



ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY

1. ZONING: C
2. PROPOSED USE: OIL CHANGE
3. PROPERTY AREA (GROSS): 48,383 SF 1.11 AC
4. BUILDING AREA: 1,440 SF
5. BUILDING HEIGHT: ONE STORY - 20'-6"
6. LOT COVERAGE : 8.8% F.A.R. = 0.009:1
7. PARKING REQUIRED: 2 PER EACH BAY = 18 SPACES REQUIRED
8. HANDICAP REQUIRED 1 ACCESSIBLE IN 0-25 SPACES 1 PROVIDED
9. TOTAL PARKING PROVIDED: 18 SPACES
10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 28,566 SF

**HORIZON VILLAGE**  
BEING A 1.11 AC. TRACT OF LAND SITUATED IN THE HORIZON VILLAGE ADDITION BLOCK 1 LOT 4 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER  
**IYM AUTOMOTIVE INC.**  
5905 HORIZON ROAD  
ROCKWALL, TEXAS 75087  
CASE #SP2019-000

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RESIDENTIAL RESTAURANTS  
INSTITUTIONAL  
**ARCHITECTS**

MEDICAL COMMERCIAL  
CHURCHES  
**MERSHAWN**

2313 RIDGE ROAD #103  
ROCKWALL, TEXAS 75087  
PHONE: 972-722-9302  
FAX: 972-249-2051

No.	Date	Revision	By

**KWIK KAR**  
ROCKWALL, TEXAS

**SITE PLAN**

Scale: 1" = 20'-0"

Date: MM/DD/YEAR

Project No.: AAAAAA

Designed: GW

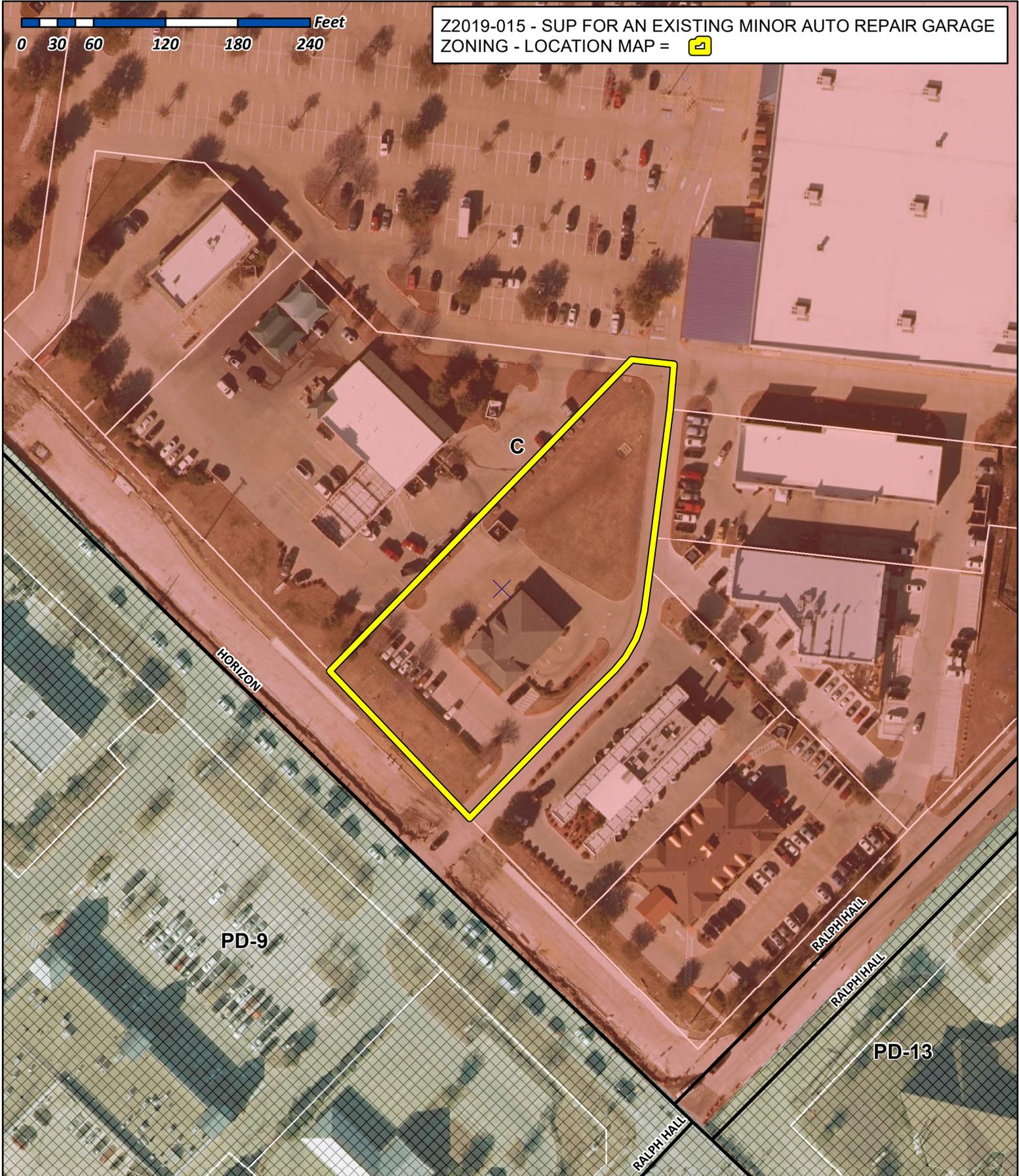
Drawn: GW

Checked: WM

SHEET  
**A1** OF

0 30 60 120 180 240 Feet

Z2019-015 - SUP FOR AN EXISTING MINOR AUTO REPAIR GARAGE  
ZONING - LOCATION MAP = 



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

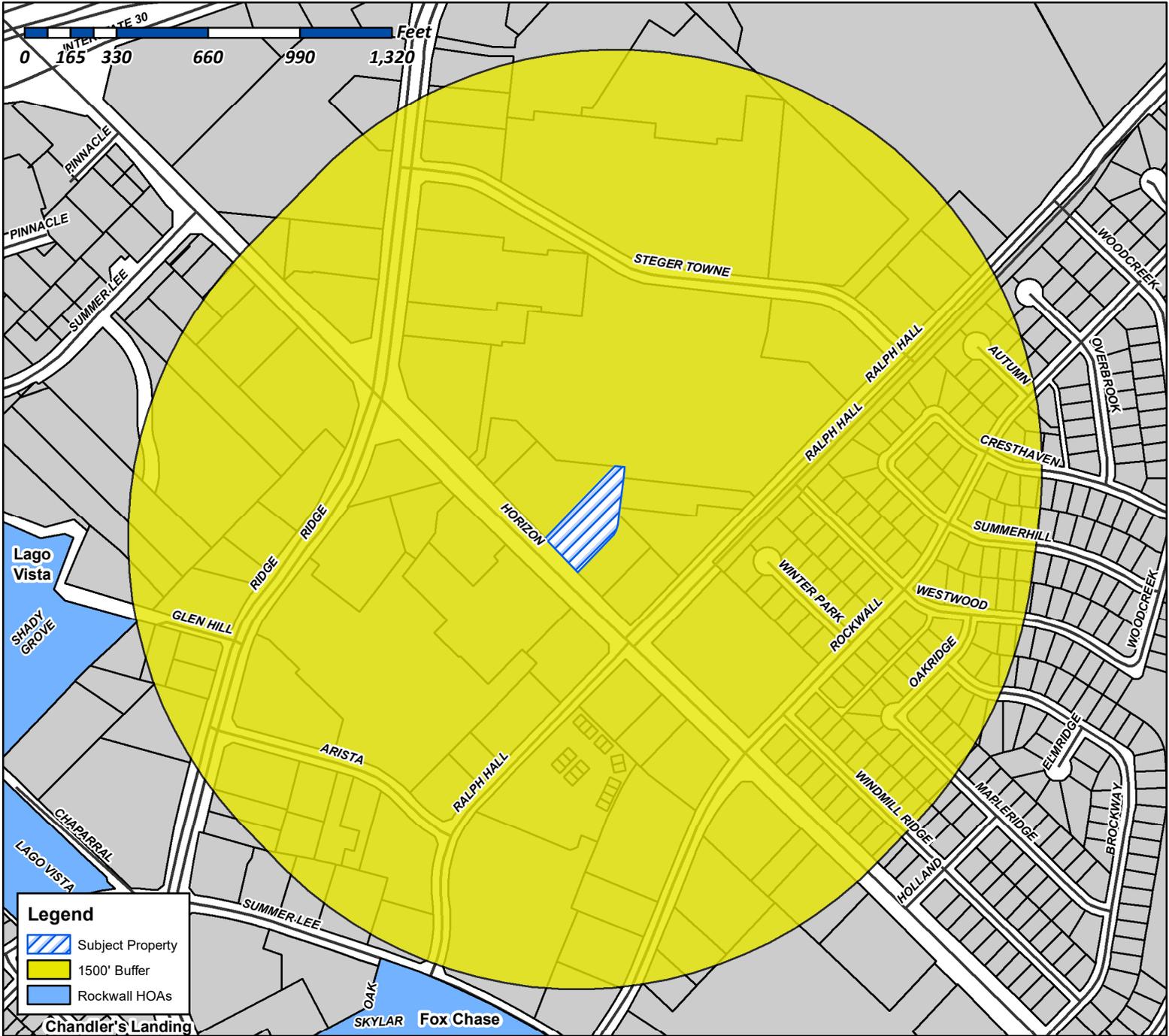
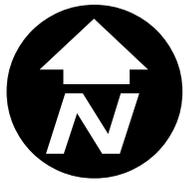




# City of Rockwall

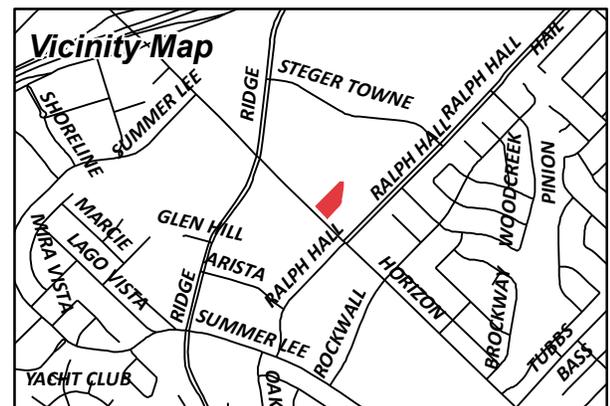
Planning & Zoning Department  
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**Case Number:** Z2019-015  
**Case Name:** SUP for an Existing Minor Repair Garage  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District  
**Case Address:** 3581 Horizon Road

**Date Created:** 7/12/2019  
 For Questions on this Case Call (972) 771-7745

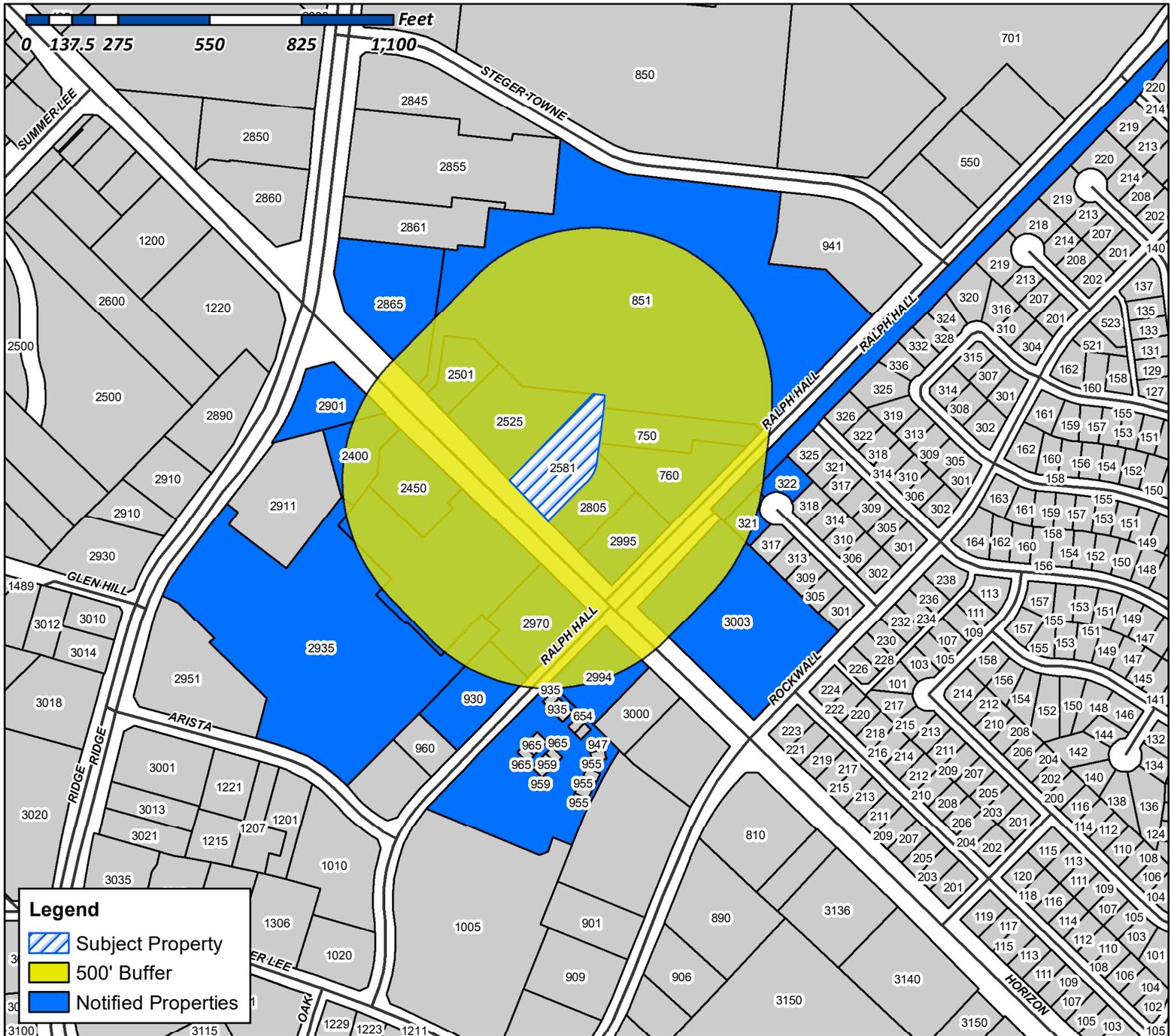
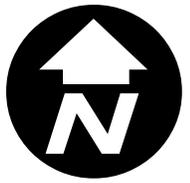




# City of Rockwall

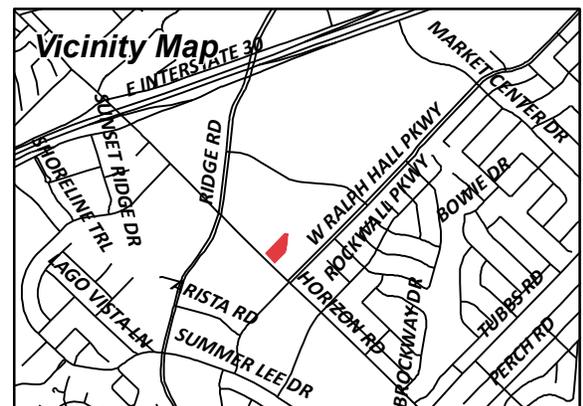
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2019-015  
**Case Name:** SUP for an Existing Minor Repair Garage  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District  
**Case Address:** 2581 Horizon Road

**Date Created:** 7/16/2019  
**For Questions on this Case Call** (972) 771-7745



LOWES HOME CENTERS INC  
1000 LOWES BLVD  
MOORESVILLE, NC 28117

KROGER TEXAS LP  
1014 VINE STREET  
CINCINNATI, OH 45202

HVCSG LLC  
1027 WOODBRIDGE PLACE  
HEATH, TX 75032

NEW BLB CORPORATION  
1100 SIENNA CT  
BURLESON, TX 76028

CFT DEVELOPMENTS LLC  
ATTN: DAVID LUO, DIRECTOR  
1683 WALNUT GROVE AVE  
ROSEMEAD, CA 91770

CURRENT RESIDENT  
2400 HORIZON RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2450 HORIZON RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2501 HORIZON RD  
ROCKWALL, TX 75032

ROCKWALL PARTNERS LTD  
2525 HORIZON RD  
ROCKWALL, TX 75032

JUCHA RHETT BARRY  
2581 HORIZON RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2805 HORIZON RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2865 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2901 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2935 RIDGE RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2970 HORIZON RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2994 HORIZON RD  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2995 HORIZON RD  
ROCKWALL, TX 75032

OUR SAVIOR EVANG LUTHERAN  
CHURCH C/O E H CONSTION  
3003 HORIZON  
ROCKWALL, TX 75032

SWAGERTY TOMMY & DEBORAH K HARGROVE  
321 WINTER PARK  
ROCKWALL, TX 75032

BROOM JUDY M  
322 WINTER PARK  
ROCKWALL, TX 75032

SOUTHTRUST BANK  
C/O WELLS FARGO  
333 MARKET ST 10TH FLOOR O  
SAN FRANCISCO, CA 94105

HASTINGS CLAIMS SERVICE INC  
732 WINDSONG LN  
ROCKWALL, TX 75032

CURRENT RESIDENT  
750 RALPH HALL PKWY  
ROCKWALL, TX 75032

KROGER TEXAS LP  
751 FREEPORT PKWY  
COPPELL, TX 75019

CURRENT RESIDENT  
760 RALPH HALL  
ROCKWALL, TX 75032

CURRENT RESIDENT  
851 STEGER TOWNE DR  
ROCKWALL, TX 75032

ROCKWALL HORIZON RIDGE LP  
930 W RALPH HALL PKWY O  
ROCKWALL, TX 75032

750 HALL PARKWAY LLC  
NTW LLC  
C/O MARVIN F POER & COMPANY O  
ATLANTA, GA 30355

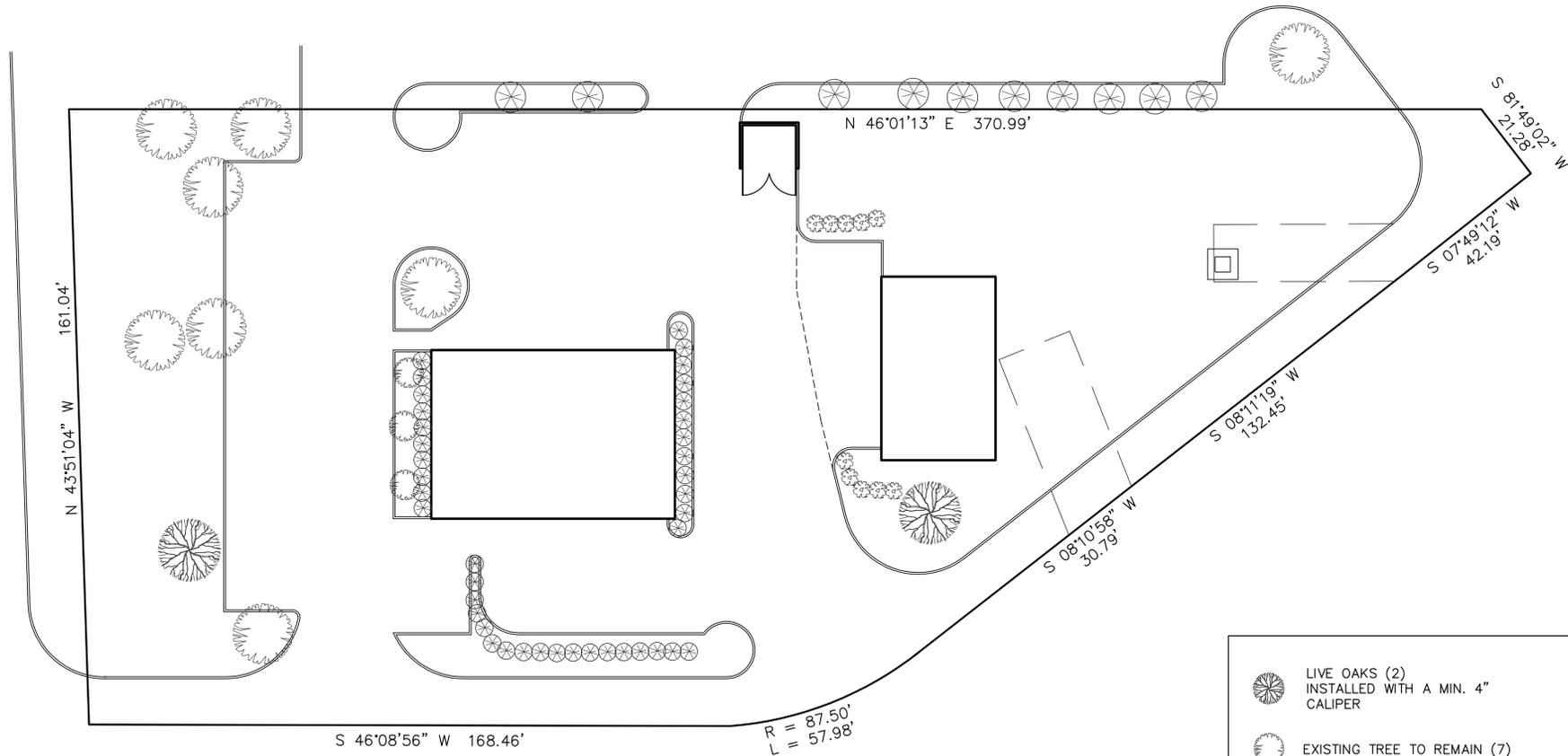
BANK OF AMERICA  
CORPORATE REAL ESTATE ASSESSMENTS  
NC1-001-03-81 O  
CHARLOTTE, NC 28255

ARMSTRONG RALPH HALL LP  
C/O ARMSTRONG DEVELOPMENT PROPERTIES  
INC  
ONE ARMSTRONG PLACE  
BUTLER, PA 16004

ERVIN RICHARD  
PO BOX 171373  
ARLINGTON, TX 76003

AMERICAN NATIONAL BANK THE  
PO BOX 40  
TERRELL, TX 75160





		EXISTING	NEW	REQUIRED	PROVIDED
1.	STREET TREES 1 CANOPY PER 50' LINEAR OF R.O.W.	4	1	3	5
2.	LANDSCAPE BUFFER			25'	35'
3.	TOTAL LANDSCAPE AREA 15% REQUIRED			7,257 SF	19,817 SF

- LIVE OAKS (2)  
INSTALLED WITH A MIN. 4" CALIPER
- EXISTING TREE TO REMAIN (7)
- EXISTING SHRUB (40)
- NEW INDIAN HAWTHORNE (10)  
PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.

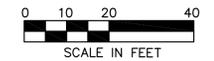
ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED, BERMUDA.

IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION.

REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.



**HORIZON VILLAGE**  
BEING A 1.11 AC. TRACT OF LAND SITUATED IN THE HORIZON VILLAGE ADDITION BLOCK 1 LOT 4 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER  
**IYM AUTOMOTIVE INC.**  
5905 HORIZON ROAD  
ROCKWALL, TEXAS 75087  
CASE #SP2019-000

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RESIDENTIAL RESTAURANTS ARCHITECTS  
INSTITUTIONAL

MEDICAL COMMERCIAL CHURCHES ARCHITECTS

**MERSHAWN ARCHITECTS**

2313 RIDGE ROAD #103  
ROCKWALL, TEXAS 75087  
PHONE: 972-722-9302  
FAX: 972-249-2051

No.	Date	Revision	By

KWIK KAR  
ROCKWALL, TEXAS

**LANDSCAPE PLAN**

Scale: 1" = 20'-0"

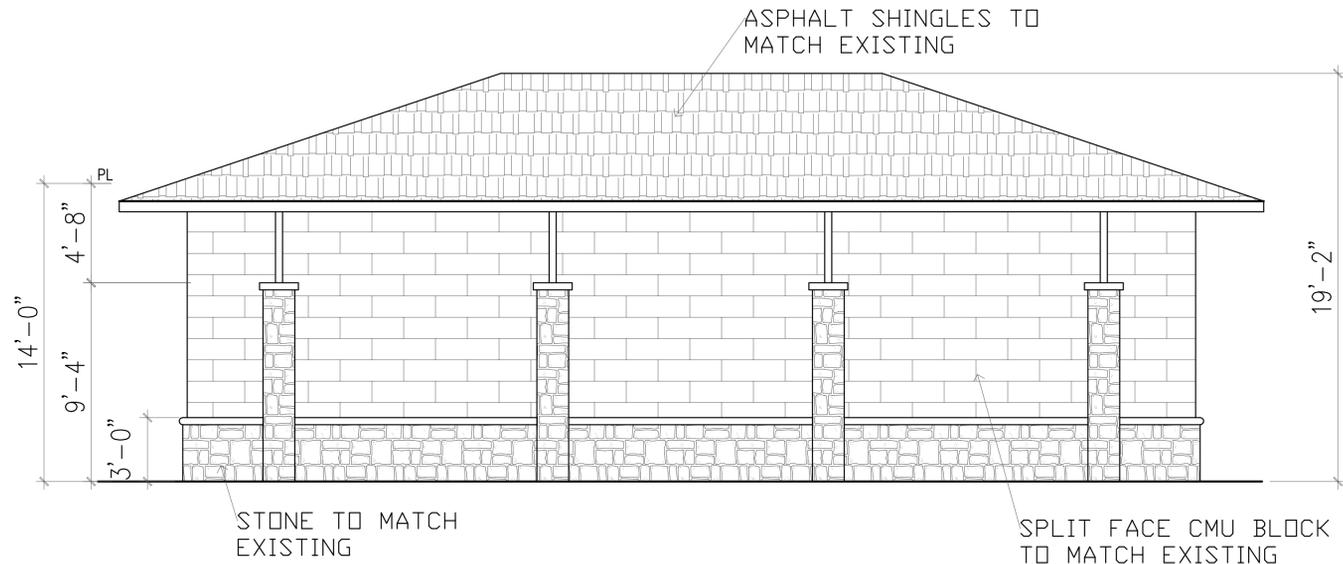
Date: MM/DD/YEAR

Project No.: AAAAAA

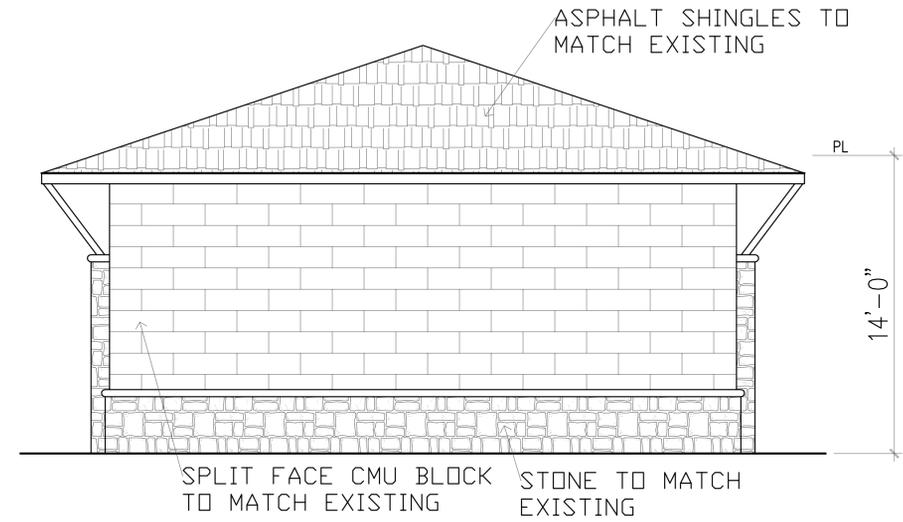
Designed: GW

Drawn: GW

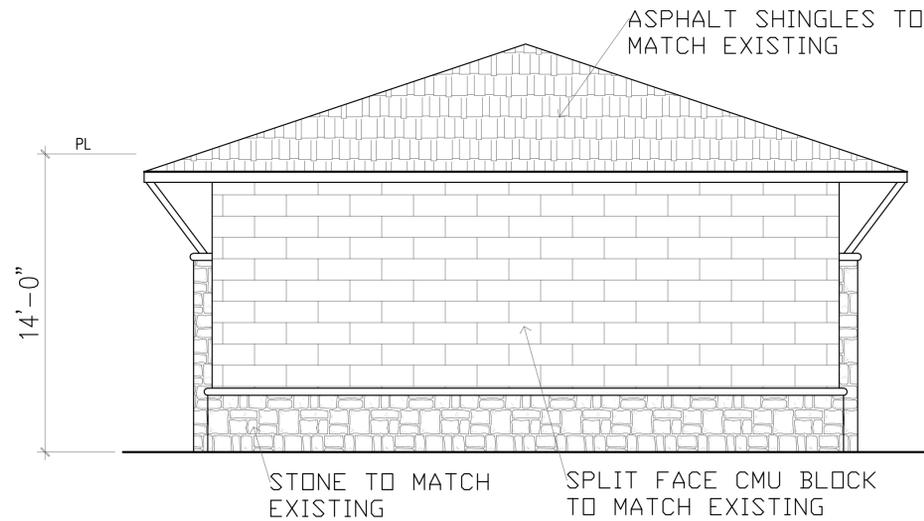
Checked: WM



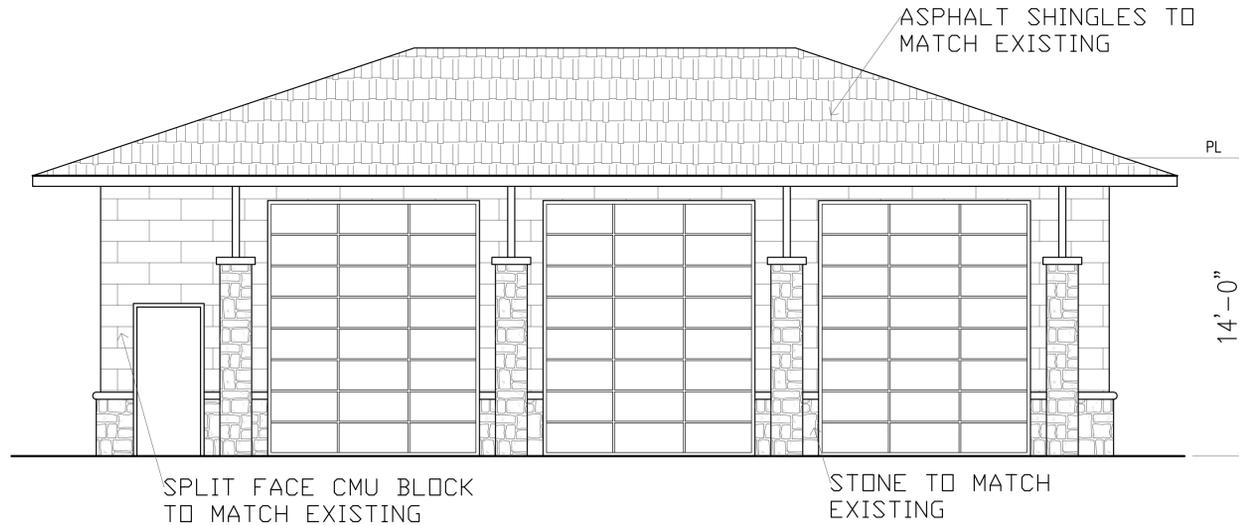
**NORTH ELEVATION**  
100% MASONRY 30% STONE 70% BLOCK



**EAST ELEVATION**  
100% MASONRY 24% STONE 76% BLOCK



**WEST ELEVATION**  
100% MASONRY 24% STONE 76% BLOCK



**SOUTH ELEVATION**  
100% MASONRY 38% STONE 62% BLOCK

**PRICING & CONSTRUCTION**  
**GENERAL NOTES:**

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

RESIDENTIAL RESTAURANTS  
INSTITUTIONAL  
**ARCHITECTS**

MEDICAL COMMERCIAL  
CHURCHES  
**MERSHAWN**

2313 RIDGE ROAD #103  
ROCKWALL, TEXAS 75087

PHONE: 972-722-9302  
FAX: 972-249-2051

No.	Date	Revision	By

**KWIK KAR**  
ROCKWALL, TEXAS

**EXTERIOR ELEVATIONS**

Scale: 1/4" = 1'-0"

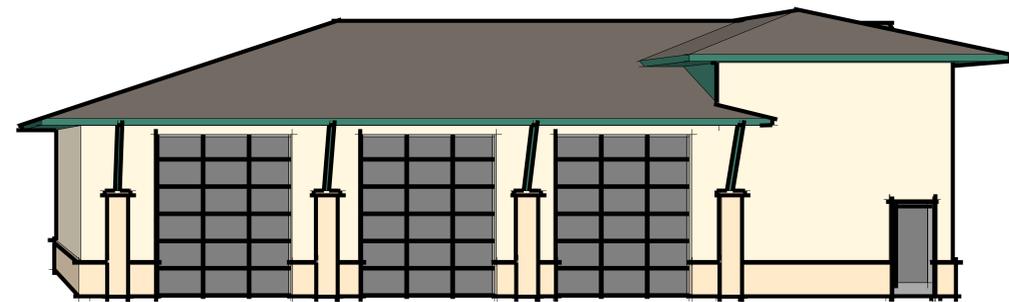
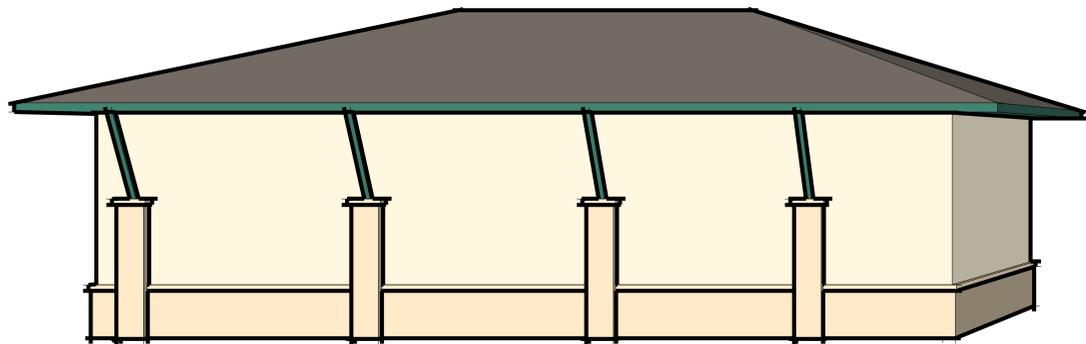
Date: \_\_\_\_\_

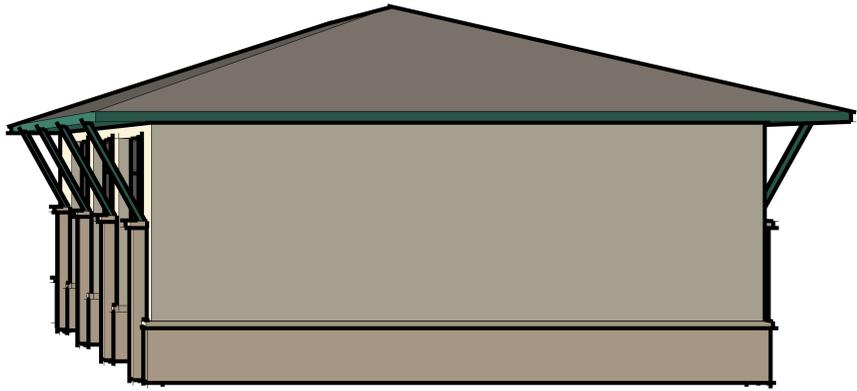
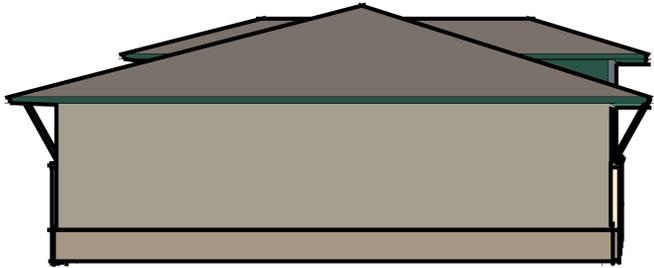
Project No.: \_\_\_\_\_

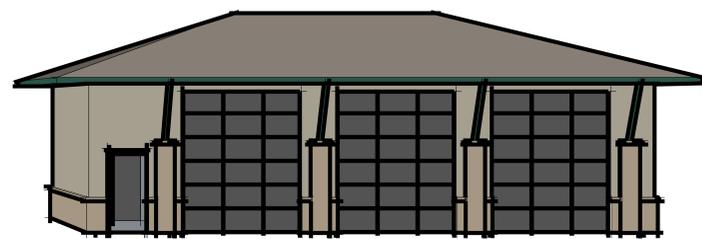
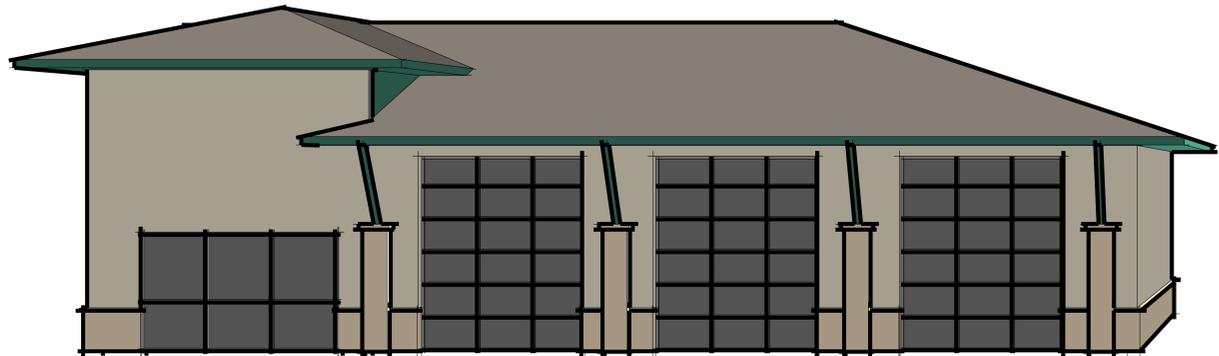
Designed: GW

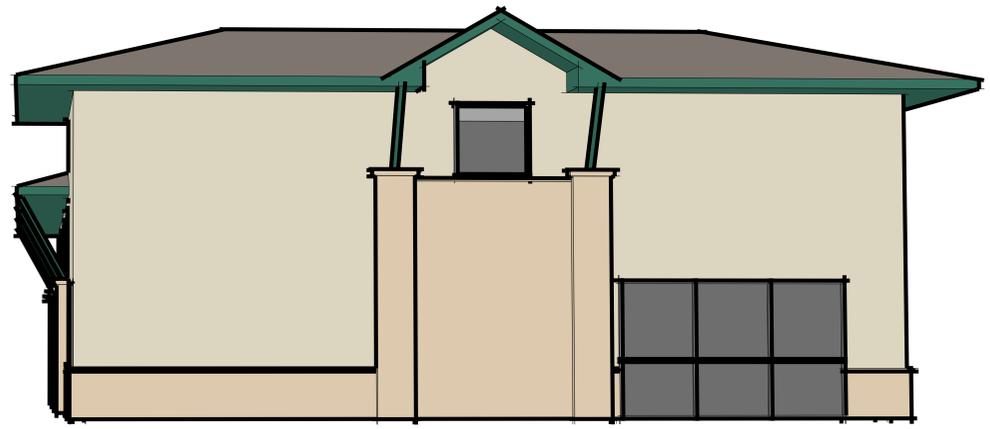
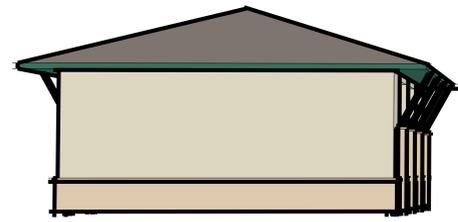
Drawn: GW

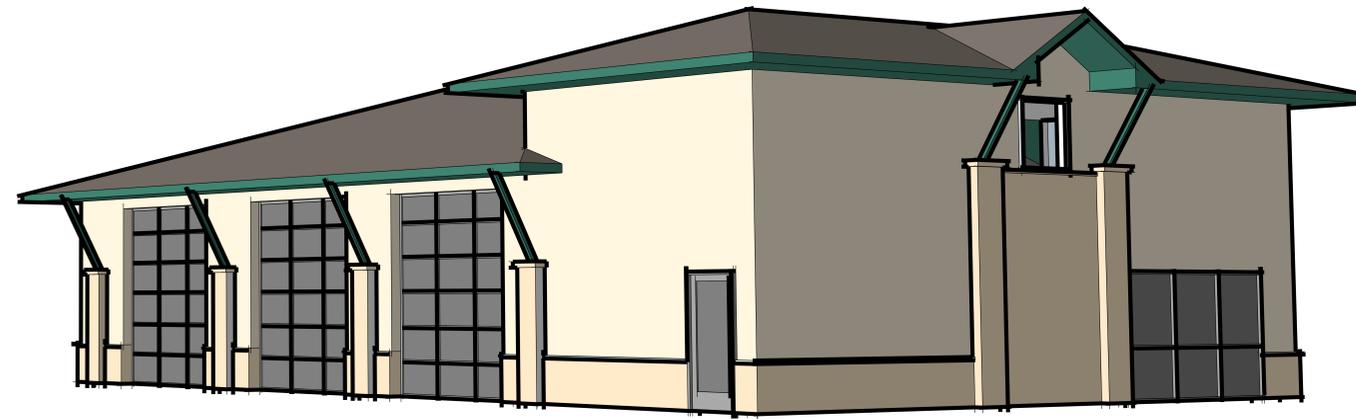
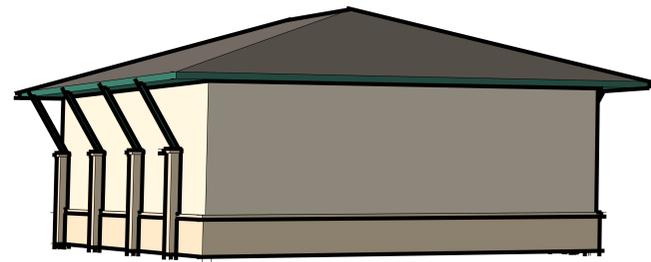
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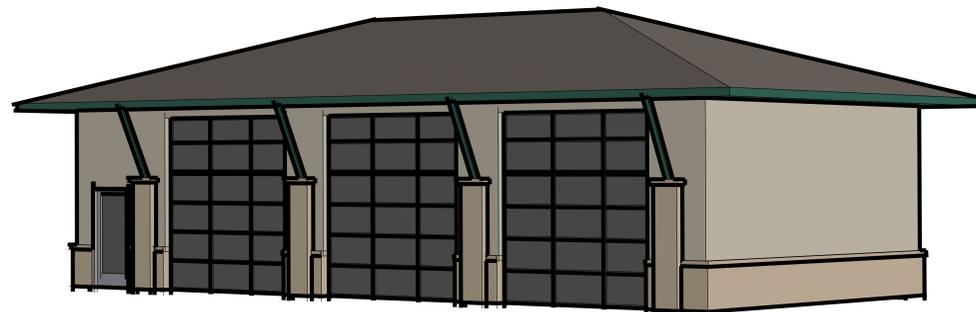
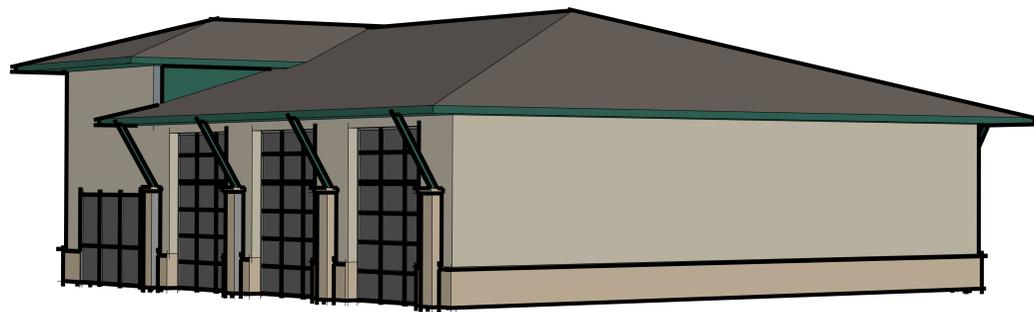












CITY OF ROCKWALL

ORDINANCE NO. 19-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A *MINOR AUTO REPAIR GARAGE*, IN A COMMERCIAL (C) DISTRICT, SITUATED ON A 1.1107-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 4, BLOCK 1, HORIZON VILLAGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Greg Wallace of Mershawn Architects on behalf of the owner for the approval of a Specific Use Permit (SUP) to allow a *minor auto repair garage* in a Commercial (C) District on a 1.1107-acre parcel of land being described as Lot 4, Block 1, Horizon Village Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 2581 Horizon Road [FM-3097], and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *minor auto repair garage* as stipulated by Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*], on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 4.4, *Commercial (C) District*, of Section 4, *Commercial Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] as heretofore amended and as may be amended in the future, and shall be subject to the following:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *minor auto repair garage* on the *Subject Property* and conformance to these stipulations is required for continued operations:

- 1) The *minor auto repair garage* shall generally conform to the concept plan and building elevations depicted in *Exhibits 'B' and 'C'* of this ordinance;
- 2) Vehicles, equipment, parts, and/or inventory shall not be stored outside overnight.
- 3) All work must be performed within an enclosed building.
- 4) The addition shall match the design and materials of the existing buildings.
- 5) A ten (10)-foot landscape buffer consisting of ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- 1) Upon obtaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4.(3) of Article IV, *Permissible Uses*, of the Unified Development Code (UDC).

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 3<sup>RD</sup> DAY OF SEPTEMBER, 2019.

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: August 19, 2019

2<sup>nd</sup> Reading: September 3, 2019

**Exhibit 'A'**  
**Zoning Exhibit**

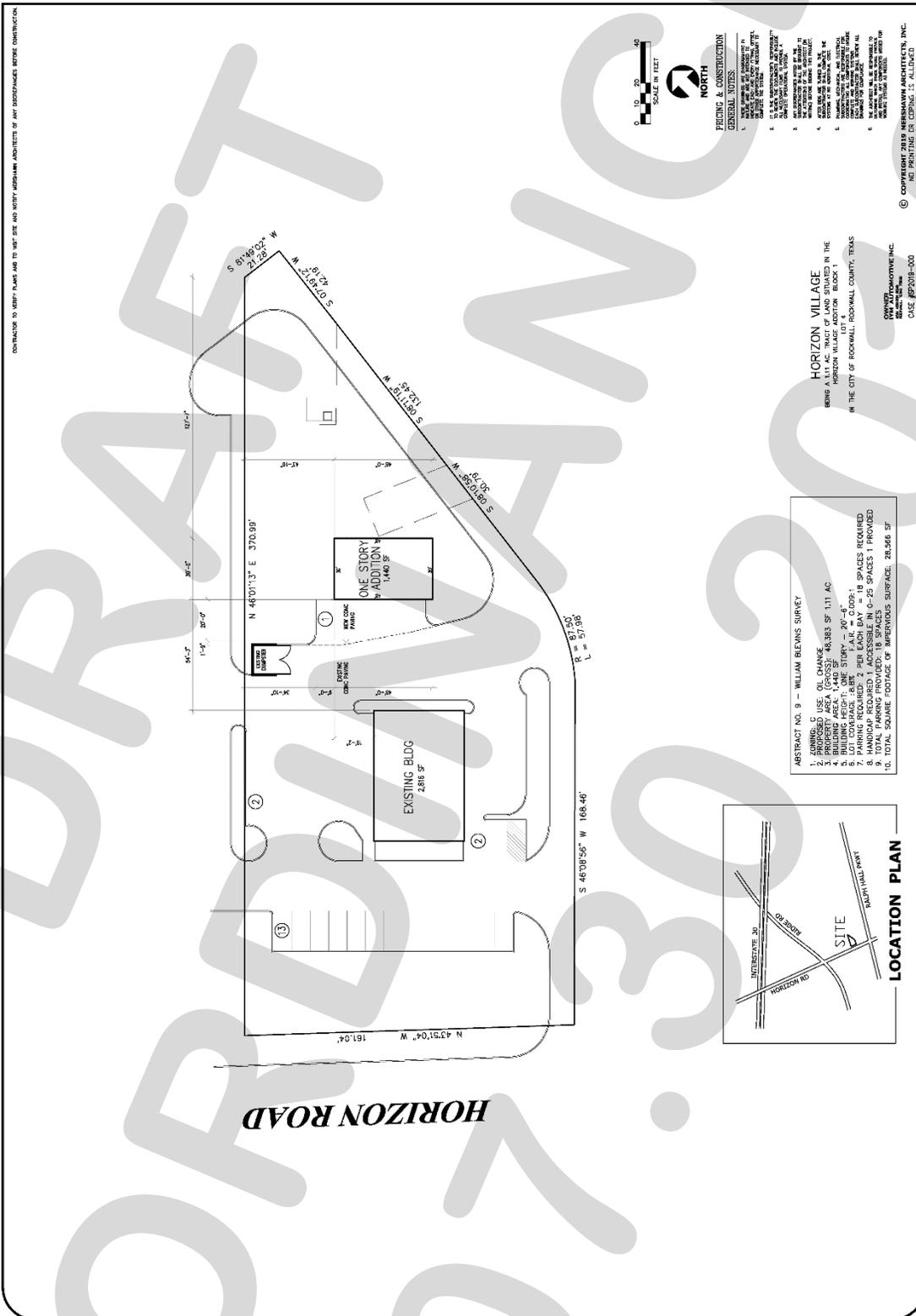
Address: 2581 Horizon Road [FM-3097]

Legal Description: Lot 1, Block 1, Horizon Village Addition



Exhibit 'B':  
Concept Plan

	<b>MEDICAL COMMERCIAL</b> <b>CHURCHES</b> <b>INSTITUTIONAL</b> <b>RESIDENTIAL RESTAURANTS</b>	<b>MERSHAW ARCHITECTS</b> 2013 ROCK ROAD SUITE 200 ROCKWALL, TEXAS 75087 PHONE: 972-262-8300 FAX: 972-262-8301	No. Date Revision _____ _____ _____	<b>SITE PLAN</b> ROCKWALL, TEXAS KWIK KAR	SCALE: 1" = 30'-0" DRAWN BY: M/AMM CHECKED BY: _____ DATE: _____ SHEET NO. _____ <b>A1</b> OF _____
---	--	--	--	---	--



# Exhibit 'C': Conceptual Building Elevations

<b>MERSHAWN ARCHITECTS</b> MEDICAL COMMERCIAL INSTITUTIONAL RESIDENTIAL RESTAURANTS 10011 ROCKWALL, TEXAS 75087 PHONE: 972-516-5588 FAX: 972-516-5031	<b>MERSHAWN ARCHITECTS</b> MEDICAL COMMERCIAL INSTITUTIONAL RESIDENTIAL RESTAURANTS 10011 ROCKWALL, TEXAS 75087 PHONE: 972-516-5588 FAX: 972-516-5031	No. _____ Date _____ Revision _____ By _____	<b>EXTERIOR ELEVATIONS</b> ROCKWALL, TEXAS KWIK KAR	Scale: 1/8" = 1'-0" Project No.: _____ Drawing No.: _____ Date: _____ Sheet: _____ <b>A4</b>
---	---	---	---	---

CONTRACTOR TO VERIFY PLANS AND TO MEET SET AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

**NORTH ELEVATION**  
100% MASONRY 30% STONE 70% BLOCK

**EAST ELEVATION**  
100% MASONRY 24% STONE 76% BLOCK

**WEST ELEVATION**  
100% MASONRY 24% STONE 76% BLOCK

**SOUTH ELEVATION**  
100% MASONRY 38% STONE 62% BLOCK

**GENERAL NOTES:**

1. UNLESS SHOWN OTHERWISE, ALL MATERIALS AND FINISHES SHALL BE AS SHOWN ON THESE PLANS AND SHALL BE SUBJECT TO THE MANUFACTURER'S CURRENT PRODUCT LITERATURE.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTING CONDITIONS AND TO MAKE ALL NECESSARY CORRECTIONS TO THE EXISTING CONDITIONS BEFORE CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

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ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

---

**TO:** Planning and Zoning Commission  
**FROM:** Ryan Miller, *Director of Planning and Zoning*  
**DATE:** July 30, 2019  
**SUBJECT:** Legislative Update for Planning and Zoning Related Bills

---

During the 86<sup>th</sup> Legislative Session several planning and zoning related bills were approved by the legislature that have major impacts to the City's codes. These bills could affect how the community grows and develops in the future. In order to amend the City's ordinances to address the new laws prior to their effective dates (*i.e. September 1, 2019*), City staff prepared the attached memorandum -- *which provides a synopsis and list of potential impacts of each of the major bills* -- for the City Council's review, and held a work session with the City Council on July 15, 2019 to discuss possible steps that could be taken to continue to ensure that the City require the highest quality development possible. Through this work session staff was directed to make several changes to the Unified Development Code (UDC) and Municipal Code of Ordinances including:

- (1) Changes to Article IV, *Permissible Uses*, of the UDC to require a Specific Use Permit (SUP) for residential infill development in established subdivisions.
- (2) Changes to the landscape standards contained in Article VIII, *Landscape Standards*, of the UDC to increase the screening requirements.
- (3) Changes to Article V, *District Development Standards*, of the UDC to [1] increase the residential anti-monotony requirements, [2] remove all residential, commercial and industrial building material requirements from the general standards, [3] change the variance/exception approval requirements, and [4] change the residential accessory building/structure requirements to require a Specific Use Permit (SUP).
- (4) Changes to Article X, *Planned Development Regulations*, of the UDC to remove material requirements.

In making these changes staff has found several other sections of the code that require changes or adjustments as a result of the above amendments. Staff has also taken this opportunity to start to *clean up* other language in the code, clarify certain sections, and make the changes that were referenced in the OURHometown 2040 Comprehensive Plan.

In addition to making the changes required by the 86<sup>th</sup> Legislature, the City Council also directed staff -- *at the work session on July 15, 2019* -- to make changes to the fence standards and move them from the Municipal Code of Ordinances to the UDC. Staff has incorporated this direction into the proposed amendment. Due to the magnitude of the required changes, staff is still in the process of preparing these amendments and will bring a full list of changes along with a draft ordinance to the Planning and Zoning Commission meeting on August 12, 2019. For the work session on July 30, 2019, staff would like to update the Planning and Zoning Commission of the Legislature's actions and talk about the strategies that are being employed with this update. Attached to this memorandum are both memorandums that were provided to the City Council at the work session and the full text from the bills being addressed (*i.e. HB347, HB2439, & HB3167*). Should the Planning and Zoning Commission have any questions concerning this update staff will be prepared to address them at the work session on July 30, 2019.



**CITY OF ROCKWALL**  
CITY COUNCIL MEMORANDUM

**PLANNING AND ZONING DEPARTMENT**  
385 S. GOLIAD STREET • ROCKWALL, TX 75087  
PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

---

**TO:** Mayor and City Council  
**CC:** Rick Crowley, *City Manager*  
Mary Smith, *Assistant City Manager*  
Joey Boyd, *Assistant City Manager*  
**FROM:** Ryan Miller, *Director of Planning and Zoning*  
**DATE:** July 15, 2019  
**SUBJECT:** Legislative Update for Planning and Zoning Related Bills

---

During the 86<sup>th</sup> Legislative Session several planning and zoning related bills were approved by the legislature that have major impacts to the City's codes. These bills could affect how the community grows and develops in the future. In order to amend the City's ordinances to address the new laws prior to their effective dates (*i.e. September 1, 2019*), City staff has prepared a synopsis of each of the major bills for the City Council's review. In addition, staff has provided a summary of each of the bills' perceived impacts to the City of Rockwall, the actions necessary to change the codes to address the new laws, and several strategies that the City Council may consider when directing staff to make the necessary changes. Staff has also placed the full text for each bill in the attached packet for the City Council's review. At the end of this memorandum, staff has included several questions for the City Council to answer that will assist staff in the update.

*Planning Related Bills Approved by Legislature*

- *HB347 (Annexation)*: This bill effectively eliminates the City of Rockwall's ability to unilaterally annex property located within the City's Extraterritorial Jurisdiction (ETJ). More specifically, the bill eliminates the *Tier 1* and *Tier 2* distinction for cities and counties, which was created by SB6 during the 84<sup>th</sup> Legislative Session.

*Effective Date of HB347*: May 24, 2019

*What does HB347 mean for the City of Rockwall?*

HB347 restricts the City's ability to unilaterally annex property, and all future annexations in the City will be voluntary to some degree (*i.e. property owner initiated or through an election of all property owners in the proposed annexation area*).

*Strategies or Actions as a Result of HB3167*

There are no strategies or code amendments associated with the implementation of this bill.

- *HB2439 (Building Materials and Methods)*: This bill effectively restricts a City from enforcing or adopting regulations that prohibit or limit -- *directly or indirectly* -- the use or installation of a building product or material in the construction or renovation of a residential or commercial building that is already regulated by a *National Model Code* (*i.e. the International Building Code*). The bill does allow for certain exclusions including:

- (1) An ordinance or other regulation that regulates outdoor lighting for the purpose of reducing light pollution.

- (2) A building located in a place or area designated for its historical, cultural, or architectural importance and significance that a municipality may regulate under Section 211.003(b) of the Texas Local Government Code (TLGC) if: [1] the municipality is a certified local government, [2] the municipality has an applicable landmark ordinance.
- (3) A building located in a place or area designated for its historical, cultural, or architectural importance and significance by a governmental entity, if designated before April 1, 2019.
- (4) A building listed on the National Register of Historic Places or designated as a landmark by a governmental entity.
- (5) A building located in an area designated for development, restoration, or preservation in a Main Street City under the Main Street Program established under Section 442.014 of the TLGC.

In addition, the bill states that the Attorney General or an aggrieved party may file an action in district court to enjoin a violation or threatened violation of Section 3000.002, and that the court may grant appropriate relief.

Effective Date of HB2439: September 1, 2019

What does HB2439 mean for the City of Rockwall?

The language used in HB2439 is broad and is targeted at preempting a City's ability to regulate development through a zoning ordinance. For the City of Rockwall, the bill will restrict the ability to regulate building materials (*i.e. requiring masonry materials*) through the Unified Development Code; however, the exceptions may continue to allow the City to regulate building materials in certain areas. After conferring with the City Attorney, staff believes the bill will continue to allow the City the ability to regulate building materials in the current manner in the City's various overlay districts (*based on Exception #3 above*), the Downtown (DT) District (*based on Exception #5 above*), the Old Town Rockwall (OTR) Historic District and Planned Development District 50 (PD-50) (*based on Exception #2 above*), the City's locally designated landmarks (*based on Exception #4 above*), Planned Development District 32 (PD-32) (*based on Exception #3 above*), and through future Specific Use Permit (SUP) ordinances. There are still some questions as to whether or not the bill will have an effect on the City's existing Planned Development Districts; however, the City Attorney has stated a belief that state law would preempt these ordinances. There is also some ambiguity on if the City will be able to -- *with the owner(s)/applicant(s) permission* -- be able to regulate building materials through future Planned Development Districts. Much of the uncertainty of this bill will be solved when/if a City gets challenged based on their interpretation of the bill. Staff should note that this bill also has implications on the City's ability to adopt local amendments to the International Building Code (IBC).

For the City's future development, this bill has implications associated with:

- (1) *Residential Accessory Buildings.* All residential accessory buildings adhering to the size requirements would be permitted to be constructed out of metal.
- (2) *Residential Structures.* Mobile and modular homes would be permitted within the City limits in areas that are not listed in the above exceptions. This may also include the Lake Rockwall Estates Subdivision, which has been transitioning largely due to the one (1) time replacement on mobile and modular homes required by Planned Development District 70 (PD-70). Residential structures that represent infill development in areas of the City that are not covered by deed restrictions would be permitted to be built using materials that were not previously permitted in these subdivisions. This could change the established aesthetics in these areas and could have a potential impact on property values. Materials previously prohibited, such as logistics containers, would also be permitted to be used in the construction of new homes.
- (3) *Non-Residential Structures.* The City's major roadways are currently covered by the overlay districts, which it appears will be largely unaffected by the requirements of HB2439; however, many of the commercial areas outside of the overlay districts are adjacent to residential subdivisions. Since non-residential structures -- *not situated within the areas listed in the above*

*exceptions* -- would be exempted from the building material standards, this could mean more metal buildings adjacent to residentially zoned properties.

### Strategies or Actions as a Result of HB2439

Based on the approval of this bill staff will be required to amend large portions of the City's Unified Development Code. Through these amendments there are several opportunities or strategies, that the City Council may choose to adopt, which would continue to ensure the City is demanding the highest quality development in lieu of the restrictions of HB2439. Some of these include:

- (1) Increasing the anti-monotony standards for residential properties. This is currently being implemented in the City's Planned Development District ordinances and could be implemented in the *General Residential District Standards*.
- (2) The use of Specific Use Permits (SUP's) [*which the City Attorney has stated that the City could require building material requirements through*] could be expanded. This could also be reapplied to residential accessory structures (*as was previously done prior to the update of the code by Ordinance No. 18-47*).
- (3) Apply the overlay district standards -- *with the exception of the building material standards* -- to all development within the City.
- (4) Make it more difficult to obtain variances and exceptions. This could be achieved in several ways including: [1] making all variances and exceptions subject to a supermajority vote, [2] creating a compensatory requirement whereby in order to request a variance the applicant is required to off-set the variance through a list of compensatory measures (*e.g. increased landscaping, increased setbacks, increased landscape buffers, structure/shared parking -- staff is also exploring if the use of building materials could be incorporated in this section since it would be a voluntary selection by the applicant*), and/or [3] reducing the number of exceptions and variances approved.
- (5) Increase the landscaping standards and make the overlay district landscape standards applicable citywide. Increase the number of trees required in landscape buffers.

DISCLAIMER: These strategies are not meant to directly or indirectly prohibit the use or installation of a building product or material, but rather ensure high quality development in the City.

Staff should note that any of these measures would be discretionary to the City Council and staff would only pursue these measures at the City Council's direction.

- HB3167 (Development Applications): This bill makes numerous changes to how City's process and approve site plan and platting applications. A summary of the specific implications of this bill are as follows:
  - (1) Puts a 30-day "shot clock" on the approval of all site plans and plats. For site plans this means that the Planning and Zoning Commission is required to approve, approve with conditions, or deny a site plan application within 30-days of the application being filed. For plats, the Planning and Zoning Commission has 30-days to forward a recommendation to the City Council, which then has 30-days from this action to approve, approve with conditions, or deny the plat.
  - (2) The 30-day "shot clock" may only be extended by the applicant for an additional 30-days if the applicant requests in writing an extension to the deadline and the municipal authority or governing body approves such extension request.
  - (3) If a site plan or plat is approved with condition or denied by the municipal authority, staff is required to provide a written letter stating all conditions of approval or the reason for disapproval that clearly articulates each condition or reason for disapproval citing the section of the code or law for which the condition or reason for disapproval originates (*i.e. the conditions cannot be arbitrary*).
  - (4) If a site plan or plat is approved with condition or denied by the municipal authority, the applicant is permitted to respond to staff's written letter (*required in #3 above*) within an undetermined

amount of time (*i.e. the municipal authority is not permitted to set a deadline*). If the municipal authority receives a response from an applicant, the municipal authority is required to respond no later than 15-days from receipt of the response, stating approval if the response adequately address the issues or disapproval stating the reason for each disapproval.

- (5) If a site plan or plat is approved by the municipal authority, the site plan or plat is endorsed with a certificate indicating the approval.
- (6) The municipal authority responsible for approving plats or the governing body of the municipality may not request or require an applicant to waive a deadline or other approval procedure.
- (7) In a legal action challenging a disapproval of a plan or plat, the City has the burden of proving by clear and convincing evidence that the disapproval meets the requirements of the subdivision platting law or any applicable case law, and the court may not use a deferential standard.

Effective Date of HB3167: September 1, 2019

What does HB3167 mean for the City of Rockwall?

Moving forward HB3167 will not affect the City's platting process, as plats are typically approved with condition within 30-days; however, the City will be required to remove the 30-day waiver that is currently on the development application. For plats, the City will have to start stamping and signing all plats (*i.e. master plats and preliminary plats*) with the same certificate that replats and final plats are currently being stamped with. The real effect of HB3167 is in the process in which the City currently approves site plans. The purpose of this law is to accelerate the approval process of site plans; however, for the City of Rockwall this removes much of the flexibility that staff uses to facilitate development request (*i.e. approving all site plans by conditional approval within 30-days and clearing up development issues on the back end*), and is more likely to make the process more difficult on applicants. This is tied to several aspects of the bill including:

- (1) The rigid time period for acting on a site plan. Currently, applicants are able to submit site plans at their convenience and staff has not taken a rigid approach to application deadlines (*i.e. staff takes site plan applications before and after the submittal deadline*). Moving forward all site plans will have to be submitted on the deadline date with no early or late applications being accepted. This will be necessary to ensure that action is taken on all site plans within 30-days without exception.
- (2) The Planning and Zoning Commission can only approve, approve with condition, or deny a site plan. This means that the Planning and Zoning Commission cannot table a case to request additional information. In circumstances where additional information (*e.g. Traffic Impact Analysis*) is required, the Planning and Zoning Commission will be required to deny the application, and the applicant will be required to resubmit the site plan at the next submittal date.
- (3) Due to the laborious requirements associated with approving site plans with conditions under HB3167, staff will be required to deny any site plan that does not return comments on the date required to take the site plan forward. Currently, the City's approval process operates on a 30-day cycle, which makes it difficult for applicants to return all of staff's comments in time to make the Planning and Zoning Commission meeting date. Under the current process staff has been taking these site plans forward for conditional approval to help facilitate the applicant's request in a timely manner. Moving forward staff will be required to deny these requests for not meeting the requirements, and the applicant will be required to resubmit a new application at the next submittal deadline.

In addition, this bill will also require all site plans be stamped with a certificate and signed by the Planning and Zoning Commission chairman. Despite these requirements, staff will continue to look for ways to facilitate all requests in a timely manner; however, in certain cases applicants may be submitting and resubmitting a site plan request multiple times, which will extend the approval process beyond the desired 30-day period.

### Strategies or Actions as a Result of HB3167

In order to bring the City's codes and applications into compliance with the requirements of HB3167, staff will need to make amendments to: [1] Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances, [2] Article XI, *Zoning-Related Applications*, of the Unified Development Code (UDC), and [3] the Development Application. Beyond these amendments, there really are no strategies that staff can put forth to address the changes associated with HB3167 with the exception of changing the City's site plan process and discontinuing approving site plans conditionally. To make it easier on the Planning and Zoning Commissioners, staff intends on outlining what actions are required by the Planning and Zoning Commission on all future site plan memos. Staff will also include what options the Planning and Zoning Commission has with regard to each action (*i.e. approved, approve with condition or denial*).

### Questions for the City Council

- (1) Given the ambiguity associated with HB2439 and the possibility for legal challenge, is the City Council comfortable allowing staff to continue to enforce building material restrictions in the City's overlay districts? Planned Development Districts?
- (2) Does the City Council want staff to explore amending the *Permissible Use Charts* in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) to increase the use of Specific Use Permits (SUP's)? Require a SUP for residential accessory buildings?
- (3) Does the City Council want staff to amend the City's general development standards for residential and/or non-residential development to be more restrictive (*e.g. increased anti-monotony, development standards similar to the overlay district standards applied citywide, increased landscaping requirements*)?
- (4) Does the City Council want staff to create compensatory measures for variances and exceptions, and/or change the voting requirements for variances and exceptions?

## AN ACT

relating to consent annexation requirements.

BE IT ENACTED BY THE LEGISLATURE OF THE STATE OF TEXAS:

## ARTICLE 1. REPEAL OF TIER SYSTEM

SECTION 1.01. The following provisions of Chapter 43, Local Government Code, are repealed:

- (1) Sections 43.001(2), (3), (4), and (5);
- (2) Section 43.011;
- (3) Subchapter B;
- (4) Section 43.0505(b);
- (5) Section 43.052;
- (6) Section 43.053;
- (7) Section 43.056(q);
- (8) Section 43.0561;
- (9) Section 43.0562;
- (10) Section 43.0563;
- (11) Section 43.0564;
- (12) Section 43.061(b);
- (13) Section 43.066;
- (14) Section 43.067;
- (15) Section 43.068;
- (16) Section 43.069;
- (17) Section 43.0751(o);
- (18) Section 43.0752;
- (19) Section 43.103;
- (20) Section 43.105; and
- (21) Subchapter Y.

SECTION 1.02. The heading to Subchapter C-2, Chapter 43, Local Government Code, is amended to read as follows:

SUBCHAPTER C-2. GENERAL ANNEXATION AUTHORITY AND PROCEDURES  
REGARDING CONSENT ANNEXATIONS [~~+~~ ~~TIER 2 MUNICIPALITIES~~]

SECTION 1.03. The heading to Subchapter C-3, Chapter 43, Local Government Code, is amended to read as follows:

SUBCHAPTER C-3. ANNEXATION OF AREA ON REQUEST OF OWNERS [~~+~~ ~~TIER 2 MUNICIPALITIES~~]

SECTION 1.04. The heading to Subchapter C-4, Chapter 43, Local Government Code, is amended to read as follows:

SUBCHAPTER C-4. ANNEXATION OF AREAS WITH POPULATION OF LESS THAN  
200 BY PETITION [~~+~~ ~~TIER 2 MUNICIPALITIES~~]

SECTION 1.05. The heading to Subchapter C-5, Chapter 43, Local Government Code, is amended to read as follows:

SUBCHAPTER C-5. ANNEXATION OF AREAS WITH POPULATION OF AT LEAST 200  
BY ELECTION [~~+~~ ~~TIER 2 MUNICIPALITIES~~]

SECTION 1.06. Section 43.1025(c), Local Government Code, is amended to read as follows:

(c) The area described by Subsection (b) may be annexed under the requirements prescribed by Subchapter C-3, C-4, or C-5, as applicable [~~to a tier 2 municipality~~], but the annexation may not occur unless each municipality in whose extraterritorial jurisdiction the area may be located:

- (1) consents to the annexation; and
- (2) reduces its extraterritorial jurisdiction over

the area as provided by Section 42.023.

SECTION 1.07. Section 43.1211, Local Government Code, is amended to read as follows:

Sec. 43.1211. USE OF CONSENT PROCEDURES [~~AUTHORITY OF CERTAIN TIER 2 MUNICIPALITIES~~] TO ANNEX FOR LIMITED PURPOSES. Except as provided by Section 43.0751, beginning December 1, 2017, a [~~tier 2~~] municipality described by Section 43.121(a) may annex an area for the limited purposes of applying its planning, zoning, health, and safety ordinances in the area using the procedures

under Subchapter C-3, C-4, or C-5, as applicable.

ARTICLE 2. CONFORMING CHANGES

SECTION 2.01. The following provisions of the Special District Local Laws Code are repealed:

- (1) Section 8374.252(a);
- (2) Section 8375.252(a);
- (3) Section 8376.252(a);
- (4) Section 8377.252(a);
- (5) Section 8378.252(a);
- (6) Section 8382.252(a);
- (7) Section 8383.252(a);
- (8) Section 8384.252(a);
- (9) Section 8385.252(a); and
- (10) Section 8477.302(a).

SECTION 2.02. Section 43.0116(a), Local Government Code, is amended to read as follows:

(a) Notwithstanding any other law and subject to Subsection (b), a municipality may annex all or part of the area located in an industrial district designated by the governing body of the municipality under Section 42.044 under the procedures prescribed by Subchapter C-1 [~~the requirements applicable to a tier 1 municipality~~].

SECTION 2.03. The heading to Subchapter C, Chapter 43, Local Government Code, is amended to read as follows:

SUBCHAPTER C. LIMITATIONS AND REQUIREMENTS REGARDING ANNEXATIONS EXEMPTED FROM CONSENT ANNEXATION PROCEDURES [~~PROCEDURE FOR AREAS ANNEXED UNDER MUNICIPAL ANNEXATION PLAN: TIER 1 MUNICIPALITIES~~]

SECTION 2.04. Section 43.0505(a), Local Government Code, is amended to read as follows:

(a) This [~~Except as provided by Subsection (b), this~~] subchapter applies only to an annexation under Subchapter C-1 [~~a tier 1 municipality~~].

SECTION 2.05. Sections 43.056(a), (b), (j), and (k), Local Government Code, are amended to read as follows:

(a) This section applies to a service plan under Section 43.065 [~~Before the first day of the 10th month after the month in which the inventory is prepared as provided by Section 43.053, the municipality proposing the annexation shall complete a service plan that provides for the extension of full municipal services to the area to be annexed. The municipality shall provide the services by any of the methods by which it extends the services to any other area of the municipality~~].

(b) The service plan, which must be completed [~~in the period provided by Subsection (a)~~] before the annexation, must include a program under which the municipality will provide full municipal services in the annexed area no later than 2-1/2 years after the effective date of the annexation, in accordance with Subsection (e), unless certain services cannot reasonably be provided within that period and the municipality proposes a schedule for providing those services, and must include a list of all services required by this section to be provided under the plan. If the municipality proposes a schedule to extend the period for providing certain services, the schedule must provide for the provision of full municipal services no later than 4-1/2 years after the effective date of the annexation. However, under the program if the municipality provides any of the following services within the corporate boundaries of the municipality before annexation, the municipality must provide those services in the area proposed for annexation on the effective date of the annexation of the area:

- (1) police protection;
- (2) fire protection;
- (3) emergency medical services;
- (4) solid waste collection, except as provided by

Subsection (o);

(5) operation and maintenance of water and wastewater facilities in the annexed area that are not within the service area of another water or wastewater utility;

(6) operation and maintenance of roads and streets, including road and street lighting;

(7) operation and maintenance of parks, playgrounds, and swimming pools; and

(8) operation and maintenance of any other publicly owned facility, building, or service.

(j) The proposed service plan must be made available for public inspection and explained to the inhabitants of the area at the public hearings held under Section 43.063 ~~[43.0561]~~. The plan may be amended through negotiation at the hearings, but the provision of any service may not be deleted. On completion of the public hearings, the service plan shall be attached to the ordinance annexing the area and approved as part of the ordinance.

(k) On approval by the governing body, the service plan is a contractual obligation that is not subject to amendment or repeal except that if the governing body determines at the public hearings required by this subsection that changed conditions or subsequent occurrences make the service plan unworkable or obsolete, the governing body may amend the service plan to conform to the changed conditions or subsequent occurrences. An amended service plan must provide for services that are comparable to or better than those established in the service plan before amendment. Before any amendment is adopted, the governing body must provide an opportunity for interested persons to be heard at public hearings called and held in the manner provided by Section 43.063 ~~[43.0561]~~.

SECTION 2.06. The heading to Subchapter C-1, Chapter 43, Local Government Code, is amended to read as follows:

SUBCHAPTER C-1. ANNEXATION PROCEDURE FOR AREAS EXEMPTED FROM  
CONSENT ~~[MUNICIPAL]~~ ANNEXATION PROCEDURES ~~[PLAN: TIER 1~~  
MUNICIPALITIES]

SECTION 2.07. Section 43.061(a), Local Government Code, is amended to read as follows:

(a) Unless otherwise specifically provided by this chapter or another law ~~[Except as provided by Subsection (b)]~~, this subchapter applies only to an annexation under:

- (1) Section 43.0115 (Enclave);
- (2) Section 43.0116 (Industrial District);
- (3) Section 43.012 (Area Owned by Type-A

Municipality);

- (4) Section 43.013 (Navigable Stream);
- (5) Section 43.0751(h) (Strategic Partnership);
- (6) Section 43.101 (Municipally Owned Reservoir);
- (7) Section 43.102 (Municipally Owned Airport); and
- (8) Section 43.1055 (Road and Right-of-Way) [area that

is proposed for annexation by a tier 1 municipality and that is not required to be included in a municipal annexation plan under Section 43.052(h)].

SECTION 2.08. Section 43.062(b), Local Government Code, is amended to read as follows:

(b) This subsection applies only to an area that contains fewer than 100 separate tracts of land on which one or more residential dwellings are located on each tract ~~[described by Section 43.052(h)(1)]~~. Before the 30th day before the date of the first hearing required under Section 43.063, a municipality shall give written notice of its intent to annex the area to:

(1) each property owner in an area proposed for annexation, as indicated by the appraisal records furnished by the appraisal district for each county in which the area is located;

(2) each public entity~~[, as defined by Section 43.053,]~~ or private entity that provides services in the area proposed for annexation, including each:

(A) municipality, county, fire protection service provider, including a volunteer fire department, and emergency medical services provider, including a volunteer emergency medical services provider; and

(B) municipal utility district, water control and improvement district, or other district created under Section

52, Article III, or Section 59, Article XVI, Texas Constitution;  
and

(3) each railroad company that serves the municipality and is on the municipality's tax roll if the company's right-of-way is in the area proposed for annexation.

SECTION 2.09. Section 43.0715(c), Local Government Code, is amended to read as follows:

(c) At the time notice of the municipality's intent to annex the land within the district is first given in accordance with Section ~~[43.052,]~~ 43.0683~~[,]~~ or 43.0693, as applicable, the municipality shall proceed to initiate and complete a report for each developer conducted in accordance with the format approved by the Texas Commission on Environmental Quality for audits. In the event the municipality is unable to complete the report prior to the effective date of the annexation as a result of the developer's failure to provide information to the municipality which cannot be obtained from other sources, the municipality shall obtain from the district the estimated costs of each project previously undertaken by a developer which are eligible for reimbursement. The amount of such costs, as estimated by the district, shall be escrowed by the municipality for the benefit of the persons entitled to receive payment in an insured interest-bearing account with a financial institution authorized to do business in the state. To compensate the developer for the municipality's use of the infrastructure facilities pending the determination of the reimbursement amount, all interest accrued on the escrowed funds shall be paid to the developer whether or not the annexation is valid. Upon placement of the funds in the escrow account, the annexation may become effective. In the event a municipality timely escrows all estimated reimbursable amounts as required by this subsection and all such amounts, determined to be owed, including interest, are subsequently disbursed to the developer within five days of final determination in immediately available funds as required by this section, no penalties or interest shall accrue during the pendency of the escrow. Either the municipality or developer may, by written notice to the other party, require disputes regarding the amount owed under this section to be subject to nonbinding arbitration in accordance with the rules of the American Arbitration Association.

SECTION 2.10. Sections 43.0751(b) and (h), Local Government Code, are amended to read as follows:

(b) The governing bodies of a municipality and a district may negotiate and enter into a written strategic partnership agreement for the district by mutual consent. ~~[The governing body of a municipality, on written request from a district included in the municipality's annexation plan under Section 43.052, shall negotiate and enter into a written strategic partnership agreement with the district. A district included in a municipality's annexation plan under Section 43.052:~~

~~[(1) - - may not submit its written request before the date of the second hearing required under Section 43.0561; and~~

~~[(2) - - must submit its written request before the 61st day after the date of the second hearing required under Section 43.0561.]~~

(h) On the full-purpose annexation conversion date set forth in the strategic partnership agreement pursuant to Subsection (f) (5), the land included within the boundaries of the district shall be deemed to be within the full-purpose boundary limits of the municipality without the need for further action by the governing body of the municipality. The full-purpose annexation conversion date established by a strategic partnership agreement may be altered only by mutual agreement of the district and the municipality. However, nothing herein shall prevent the municipality from terminating the agreement and instituting proceedings to annex the district, on request by the governing body of the district, on any date prior to the full-purpose annexation conversion date established by the strategic partnership agreement

under the procedures prescribed by Subchapter C-1 [~~applicable to a tier 1 municipality~~]. Land annexed for limited or full purposes under this section shall not be included in calculations prescribed by Section 43.055(a).

SECTION 2.11. Section 43.07515(a), Local Government Code, is amended to read as follows:

(a) A municipality may not regulate under Section 43.0751 [~~or 43.0752~~] the sale, use, storage, or transportation of fireworks outside of the municipality's boundaries.

SECTION 2.12. Section 43.101(c), Local Government Code, is amended to read as follows:

(c) A municipality may annex the [~~The~~] area described by this section [~~may be annexed~~] without the consent of any owners or residents of the area under the procedures prescribed by Subchapter C-1 [~~applicable to a tier 1 municipality by:~~

[~~(1) a tier 1 municipality; and~~

[~~(2)~~] if there are no owners other than the municipality or residents of the area[~~, a tier 2 municipality~~].

SECTION 2.13. Section 43.102(c), Local Government Code, is amended to read as follows:

(c) A municipality may annex the [~~The~~] area described by this section [~~may be annexed~~] without the consent of any owners or residents of the area under the procedures prescribed by Subchapter C-1 [~~applicable to a tier 1 municipality by:~~

[~~(1) a tier 1 municipality; and~~

[~~(2)~~] if there are no owners other than the municipality or residents of the area[~~, a tier 2 municipality~~].

SECTION 2.14. Section 43.1055, Local Government Code, is amended to read as follows:

Sec. 43.1055. ANNEXATION OF ROADS AND RIGHTS-OF-WAY [~~IN CERTAIN LARGE COUNTIES~~]. Notwithstanding any other law, a [~~tier 2~~] municipality may by ordinance annex a road or the right-of-way of a road on request of the owner of the road or right-of-way or the governing body of the political subdivision that maintains the road or right-of-way under the procedures prescribed by Subchapter C-1 [~~applicable to a tier 1 municipality~~].

SECTION 2.15. Section 43.141(a), Local Government Code, is amended to read as follows:

(a) A majority of the qualified voters of an annexed area may petition the governing body of the municipality to disannex the area if the municipality fails or refuses to provide services or to cause services to be provided to the area:

(1) if the area was annexed under Subchapter C-1 [~~municipality is a tier 1 municipality~~], within the period specified by Section 43.056 or by the service plan prepared for the area under that section; or

(2) if the area was annexed under Subchapter C-3, C-4, or C-5 [~~municipality is a tier 2 municipality~~], within the period specified by the written agreement under Section 43.0672 or the resolution under Section 43.0682 or 43.0692, as applicable.

SECTION 2.16. Section 43.203(b), Local Government Code, is amended to read as follows:

(b) On receipt of the district's petition, the governing body of the municipality shall enter into negotiations with the district for an agreement to alter the status of annexation that must:

(1) specify the period, which may not be less than 10 years beginning on January 1 of the year following the date of the agreement, in which limited-purpose annexation is in effect;

(2) provide that, at the expiration of the period, the district's annexation status will automatically revert to full-purpose annexation without following procedures provided by Section [~~Sections~~] 43.014 [~~and 43.052 through 43.055~~] or any [~~other~~] procedural requirement for annexation not in effect on January 1, 1995; and

(3) specify the financial obligations of the district during and after the period of limited-purpose annexation for:

(A) facilities constructed by the municipality that are in or that serve the district;

(B) debt incurred by the district for water and sewer infrastructure that will be assumed by the municipality at the end of the period of limited-purpose annexation; and

(C) use of the municipal sales taxes collected by the municipality for facilities or services in the district.

SECTION 2.17. Section 43.905(a), Local Government Code, is amended to read as follows:

(a) A municipality that proposes to annex an area shall provide written notice of the proposed annexation to each public school district located in the area proposed for annexation within the period prescribed for providing the notice of, as applicable:

(1) the hearing under Section 43.0673; or

(2) the first hearing under Section [43.0561,] 43.063, [43.0673,] 43.0683, or 43.0693[~~, as applicable~~].

SECTION 2.18. Sections 43.9051(a) and (b), Local Government Code, are amended to read as follows:

(a) In this section, "public entity" includes a county, fire protection service provider, including a volunteer fire department, emergency medical services provider, including a volunteer emergency medical services provider, or special district described[~~, as that term is defined~~] by Section 43.062(b)(2)(B) [~~43.052~~].

(b) A municipality that proposes to annex an area shall provide to each public entity that is located in or provides services to the area proposed for annexation written notice of the proposed annexation within the period prescribed for providing the notice of, as applicable:

(1) the hearing under Section 43.0673; or

(2) the first hearing under Section [43.0561,] 43.063, [43.0673,] 43.0683, or 43.0693[~~, as applicable, to each public entity that is located in or provides services to the area proposed for annexation~~].

#### ARTICLE 3. HEARING REQUIREMENTS FOR CERTAIN CONSENT ANNEXATIONS

SECTION 3.01. Section 43.0673, Local Government Code, is amended to read as follows:

Sec. 43.0673. PUBLIC HEARING [~~HEARINGS~~]. (a) Before a municipality may adopt an ordinance annexing an area under this subchapter [~~section~~], the governing body of the municipality must conduct one [~~at least two~~] public hearing [~~hearings~~].

[~~(b) - - The hearings must be conducted not less than 10 business days apart.~~]

(c) During the [~~first~~] public hearing, the governing body:

(1) must provide persons interested in the annexation the opportunity to be heard; and

(2) [~~During the final public hearing, the governing body~~] may adopt an ordinance annexing the area.

(d) The municipality must post notice of the hearing [~~hearings~~] on the municipality's Internet website if the municipality has an Internet website and publish notice of the hearing [~~hearings~~] in a newspaper of general circulation in the municipality and in the area proposed for annexation. The notice for the [~~each~~] hearing must be:

(1) published at least once on or after the 20th day but before the 10th day before the date of the hearing; and

(2) [~~The notice for each hearing must be~~] posted on the municipality's Internet website on or after the 20th day but before the 10th day before the date of the hearing and must remain posted until the date of the hearing.

#### ARTICLE 4. TRANSITION AND EFFECTIVE DATE

SECTION 4.01. (a) Except as provided by Subsections (b) and (c) of this section, the changes in law made by this Act apply only to an annexation of an area that is not final on the effective date of this Act. An annexation of an area that was final before the effective date of this Act is governed by those portions of Chapter 43, Local Government Code, that relate to post-annexation

procedures and requirements in effect immediately before the effective date of this Act, and that law is continued in effect for that purpose.

(b) The changes in law made by this Act do not apply to the annexation of an area for which the governing body of a municipality has adopted a resolution to direct the municipality's city manager to prepare a service plan for the area on or before the effective date of this Act. An annexation of an area for which the governing body adopted a resolution to direct the municipality's city manager to prepare a service plan for the area before the effective date of this Act is governed by Chapter 43, Local Government Code, as it existed on January 1, 2019.

(c) Until the fourth anniversary of the date that final judgment in an action described by this subsection is rendered, the changes in law made by this Act do not apply to an annexation of an area described by this subsection, and an annexation of an area described by this subsection is governed by Chapter 43, Local Government Code, as it existed on January 1, 2019. This subsection applies only to an area that is:

(1) wholly located in a county that:

(A) borders the Gulf of Mexico; and

(B) contains an international border; and

(2) proposed to be annexed by a municipality that is a named party in an action:

(A) involving issues of fact or law relating to the annexation; and

(B) commenced before January 1, 2019.

SECTION 4.02. This Act takes effect immediately if it receives a vote of two-thirds of all the members elected to each house, as provided by Section 39, Article III, Texas Constitution. If this Act does not receive the vote necessary for immediate effect, this Act takes effect September 1, 2019.

\_\_\_\_\_  
President of the Senate

\_\_\_\_\_  
Speaker of the House

I certify that H.B. No. 347 was passed by the House on April 9, 2019, by the following vote: Yeas 133, Nays 14, 1 present, not voting; and that the House concurred in Senate amendments to H.B. No. 347 on May 13, 2019, by the following vote: Yeas 131, Nays 9, 1 present, not voting.

\_\_\_\_\_  
Chief Clerk of the House

I certify that H.B. No. 347 was passed by the Senate, with amendments, on May 8, 2019, by the following vote: Yeas 25, Nays 6.

\_\_\_\_\_  
Secretary of the Senate

APPROVED: \_\_\_\_\_  
Date

\_\_\_\_\_  
Governor

By: Phelan, Rodriguez, Collier, Schaefer

H.B. No. 2439

A BILL TO BE ENTITLED  
AN ACT

relating to certain regulations adopted by governmental entities for the building products, materials, or methods used in the construction or renovation of residential or commercial buildings.

BE IT ENACTED BY THE LEGISLATURE OF THE STATE OF TEXAS:

SECTION 1. Title 10, Government Code, is amended by adding Subtitle Z to read as follows:

SUBTITLE Z. MISCELLANEOUS PROVISIONS PROHIBITING CERTAIN  
GOVERNMENTAL ACTIONS  
CHAPTER 3000. GOVERNMENTAL ACTION AFFECTING RESIDENTIAL AND  
COMMERCIAL CONSTRUCTION

Sec. 3000.001. DEFINITIONS. In this chapter:

(1) "National model code" has the meaning assigned by Section 214.217, Local Government Code.

(2) "Governmental entity" has the meaning assigned by Section 2007.002.

Sec. 3000.002. CERTAIN REGULATIONS REGARDING BUILDING PRODUCTS, MATERIALS, OR METHODS PROHIBITED. (a) Notwithstanding any other law and except as provided by Subsection (d), a governmental entity may not adopt or enforce a rule, charter provision, ordinance, order, building code, or other regulation that:

(1) prohibits or limits, directly or indirectly, the use or installation of a building product or material in the construction, renovation, maintenance, or other alteration of a residential or commercial building if the building product or material is approved for use by a national model code published within the last three code cycles that applies to the construction, renovation, maintenance, or other alteration of the building; or

(2) establishes a standard for a building product, material, or aesthetic method in construction, renovation, maintenance, or other alteration of a residential or commercial building if the standard is more stringent than a standard for the product, material, or aesthetic method under a national model code published within the last three code cycles that applies to the construction, renovation, maintenance, or other alteration of the building.

(b) A governmental entity that adopts a building code governing the construction, renovation, maintenance, or other alteration of a residential or commercial building may amend a provision of the building code to conform to local concerns if the amendment does not conflict with Subsection (a).

(c) This section does not apply to:

(1) a program established by a state agency that requires particular standards, incentives, or financing arrangements in order to comply with requirements of a state or federal funding source or housing program;

(2) a requirement for a building necessary to consider the building eligible for windstorm and hail insurance coverage under Chapter 2210, Insurance Code;

(3) an ordinance or other regulation that:

(A) regulates outdoor lighting for the purpose of reducing light pollution; and

(B) is adopted by a governmental entity that is certified as a Dark Sky Community by the International Dark-Sky Association as part of the International Dark Sky Places Program;

(4) an ordinance or order that:

(A) regulates outdoor lighting; and

(B) is adopted under Subchapter B, Chapter 229, Local Government Code, or Subchapter B, Chapter 240, Local Government Code;

(5) a building located in a place or area designated for its historical, cultural, or architectural importance and significance that a municipality may regulate under Section 211.003(b), Local Government Code, if the municipality:

(A) is a certified local government under the National Historic Preservation Act (54 U.S.C. Section 300101 et seq.); or

(B) has an applicable landmark ordinance that meets the requirements under the certified local government program as determined by the Texas Historical Commission;

(6) a building located in a place or area designated for its historical, cultural, or architectural importance and significance by a governmental entity, if designated before April 1, 2019;

(7) a building located in an area designated as a historic district on the National Register of Historic Places;

(8) a building designated as a Recorded Texas Historic Landmark;

(9) a building designated as a State Archeological Landmark or State Antiquities Landmark;

(10) a building listed on the National Register of Historic Places or designated as a landmark by a governmental entity;

(11) a building located in a World Heritage Buffer Zone; and

(12) a building located in an area designated for development, restoration, or preservation in a main street city under the main street program established under Section 442.014.

(d) A municipality that is not a municipality described by Subsection (c)(3)(A) or (B) may adopt or enforce a regulation described by Subsection (a) that applies to a building located in a place or area designated on or after April 1, 2019, by the municipality for its historical, cultural, or architectural importance and significance, if the municipality has the voluntary consent from the building owner.

(e) A rule, charter provision, ordinance, order, building code, or other regulation adopted by a governmental entity that conflicts with this section is void.

Sec. 3000.003. INJUNCTION. (a) The attorney general or an aggrieved party may file an action in district court to enjoin a violation or threatened violation of Section 3000.002.

(b) The court may grant appropriate relief.

(c) The attorney general may recover reasonable attorney's fees and costs incurred in bringing an action under this section.

(d) Sovereign and governmental immunity to suit is waived and abolished only to the extent necessary to enforce this chapter.

Sec. 3000.004. OTHER PROVISIONS NOT AFFECTED. This chapter does not affect provisions regarding the installation of a fire sprinkler protection system under Section 1301.551(i), Occupations Code, or Section 775.045(a)(1), Health and Safety Code.

Sec. 3000.005. SEVERABILITY. If any provision of a rule, charter provision, ordinance, order, building code, or other regulation described by Section 3000.002(a) is held invalid under this chapter, the invalidity does not affect other provisions or applications of the rule, charter provision, ordinance, order, building code, or other regulation that can be given effect without the invalid provision or application, and to this end the provisions of the rule, charter provision, ordinance, order, building code, or other regulation are severable.

SECTION 2. This Act takes effect September 1, 2019.

## AN ACT

relating to county and municipal approval procedure for land development applications.

BE IT ENACTED BY THE LEGISLATURE OF THE STATE OF TEXAS:

SECTION 1. Section 212.001, Local Government Code, is amended by amending Subdivision (2) and adding Subdivision (3) to read as follows:

(2) "Plan" means a subdivision development plan, including a subdivision plan, subdivision construction plan, site plan, land development application, and site development plan.

~~(3)~~ "Plat" includes a preliminary plat, general plan, final plat, and replat.

SECTION 2. Subchapter A, Chapter 212, Local Government Code, is amended by adding Section 212.0085 to read as follows:

Sec. 212.0085. APPROVAL PROCEDURE: APPLICABILITY. The approval procedures under this subchapter apply to a municipality regardless of whether the municipality has entered into an interlocal agreement, including an interlocal agreement between a municipality and county under Section 242.001(d).

SECTION 3. The heading to Section 212.009, Local Government Code, is amended to read as follows:

Sec. 212.009. APPROVAL PROCEDURE: INITIAL APPROVAL.

SECTION 4. Section 212.009, Local Government Code, is amended by amending Subsections (a), (b), (c), and (d) and adding Subsections (b-1) and (b-2) to read as follows:

(a) The municipal authority responsible for approving plats shall approve, approve with conditions, or disapprove ~~act on~~ a plan or plat within 30 days after the date the plan or plat is filed. A plan or plat is ~~considered~~ approved by the municipal authority unless it is disapproved within that period and in accordance with Section 212.0091.

(b) If an ordinance requires that a plan or plat be approved by the governing body of the municipality in addition to the planning commission, the governing body shall approve, approve with conditions, or disapprove ~~act on~~ the plan or plat within 30 days after the date the plan or plat is approved by the planning commission or is ~~considered~~ approved by the inaction of the commission. A plan or plat is ~~considered~~ approved by the governing body unless it is disapproved within that period and in accordance with Section 212.0091.

(b-1) Notwithstanding Subsection (a) or (b), if a groundwater availability certification is required under Section 212.0101, the 30-day period described by those subsections begins on the date the applicant submits the groundwater availability certification to the municipal authority responsible for approving plats or the governing body of the municipality, as applicable.

(b-2) Notwithstanding Subsection (a) or (b), the parties may extend the 30-day period described by those subsections for a period not to exceed 30 days if:

(1) the applicant requests the extension in writing to the municipal authority responsible for approving plats or the governing body of the municipality, as applicable; and

(2) the municipal authority or governing body, as applicable, approves the extension request.

(c) If a plan or plat is approved, the municipal authority giving the approval shall endorse the plan or plat with a certificate indicating the approval. The certificate must be signed by:

(1) the authority's presiding officer and attested by the authority's secretary; or

(2) a majority of the members of the authority.

(d) If the municipal authority responsible for approving plats fails to approve, approve with conditions, or disapprove [act on] a plan or plat within the prescribed period, the authority on the applicant's request shall issue a certificate stating the date the plan or plat was filed and that the authority failed to act on the plan or plat within the period. The certificate is effective in place of the endorsement required by Subsection (c).

SECTION 5. Subchapter A, Chapter 212, Local Government Code, is amended by adding Sections 212.0091, 212.0093, 212.0095, 212.0096, 212.0097, and 212.0099 to read as follows:

Sec. 212.0091. APPROVAL PROCEDURE: CONDITIONAL APPROVAL OR DISAPPROVAL REQUIREMENTS. (a) A municipal authority or governing body that conditionally approves or disapproves a plan or plat under this subchapter shall provide the applicant a written statement of the conditions for the conditional approval or reasons for disapproval that clearly articulates each specific condition for the conditional approval or reason for disapproval.

(b) Each condition or reason specified in the written statement:

(1) must:

(A) be directly related to the requirements under this subchapter; and

(B) include a citation to the law, including a statute or municipal ordinance, that is the basis for the conditional approval or disapproval, if applicable; and

(2) may not be arbitrary.

Sec. 212.0093. APPROVAL PROCEDURE: APPLICANT RESPONSE TO CONDITIONAL APPROVAL OR DISAPPROVAL. After the conditional approval or disapproval of a plan or plat under Section 212.0091, the applicant may submit to the municipal authority or governing body that conditionally approved or disapproved the plan or plat a written response that satisfies each condition for the conditional approval or remedies each reason for disapproval provided. The municipal authority or governing body may not establish a deadline for an applicant to submit the response.

Sec. 212.0095. APPROVAL PROCEDURE: APPROVAL OR DISAPPROVAL OF RESPONSE. (a) A municipal authority or governing body that receives a response under Section 212.0093 shall determine whether to approve or disapprove the applicant's previously conditionally approved or disapproved plan or plat not later than the 15th day after the date the response was submitted.

(b) A municipal authority or governing body that conditionally approves or disapproves a plan or plat following the submission of a response under Section 212.0093:

(1) must comply with Section 212.0091; and

(2) may disapprove the plan or plat only for a specific condition or reason provided to the applicant under Section 212.0091.

(c) A municipal authority or governing body that receives a response under Section 212.0093 shall approve a previously conditionally approved or disapproved plan or plat if the response adequately addresses each condition of the conditional approval or each reason for the disapproval.

(d) A previously conditionally approved or disapproved plan or plat is approved if:

(1) the applicant filed a response that meets the requirements of Subsection (c); and

(2) the municipal authority or governing body that received the response does not disapprove the plan or plat on or before the date required by Subsection (a) and in accordance with Section 212.0091.

Sec. 212.0096. APPROVAL PROCEDURE: ALTERNATIVE APPROVAL PROCESS. (a) Notwithstanding Sections 212.009, 212.0091, 212.0093, and 212.0095, an applicant may elect at any time to seek approval for a plan or plat under an alternative approval process adopted by a municipality if the process allows for a shorter approval period than the approval process described by Sections 212.009, 212.0091,

212.0093, and 212.0095.

(b) An applicant that elects to seek approval under the alternative approval process described by Subsection (a) is not:

(1) required to satisfy the requirements of Sections 212.009, 212.0091, 212.0093, and 212.0095 before bringing an action challenging a disapproval of a plan or plat under this subchapter; and

(2) prejudiced in any manner in bringing the action described by Subdivision (1), including satisfying a requirement to exhaust any and all remedies.

Sec. 212.0097. APPROVAL PROCEDURE: WAIVER PROHIBITED. A municipal authority responsible for approving plats or the governing body of a municipality may not request or require an applicant to waive a deadline or other approval procedure under this subchapter.

Sec. 212.0099. JUDICIAL REVIEW OF DISAPPROVAL. In a legal action challenging a disapproval of a plan or plat under this subchapter, the municipality has the burden of proving by clear and convincing evidence that the disapproval meets the requirements of this subchapter or any applicable case law. The court may not use a deferential standard.

SECTION 6. Section 212.014, Local Government Code, is amended to read as follows:

Sec. 212.014. REPLATTING WITHOUT VACATING PRECEDING PLAT. A replat of a subdivision or part of a subdivision may be recorded and is controlling over the preceding plat without vacation of that plat if the replat:

- (1) is signed and acknowledged by only the owners of the property being replatted;
- (2) is approved~~[, after a public hearing on the matter at which parties in interest and citizens have an opportunity to be heard,]~~ by the municipal authority responsible for approving plats; and
- (3) does not attempt to amend or remove any covenants or restrictions.

SECTION 7. Section 212.015, Local Government Code, is amended by adding Subsections (a-1), (f), and (g) and amending Subsection (b) to read as follows:

(a-1) If a proposed replat described by Subsection (a) requires a variance or exception, a public hearing must be held by the municipal planning commission or the governing body of the municipality.

(b) Notice of the hearing required under Subsection (a-1) ~~[Section 212.014]~~ shall be given before the 15th day before the date of the hearing by:

- (1) publication in an official newspaper or a newspaper of general circulation in the county in which the municipality is located; and
- (2) by written notice, with a copy of Subsection (c) attached, forwarded by the municipal authority responsible for approving plats to the owners of lots that are in the original subdivision and that are within 200 feet of the lots to be replatted, as indicated on the most recently approved municipal tax roll or in the case of a subdivision within the extraterritorial jurisdiction, the most recently approved county tax roll of the property upon which the replat is requested. The written notice may be delivered by depositing the notice, properly addressed with postage prepaid, in a post office or postal depository within the boundaries of the municipality.

(f) If a proposed replat described by Subsection (a) does not require a variance or exception, the municipality shall, not later than the 15th day after the date the replat is approved, provide written notice by mail of the approval of the replat to each owner of a lot in the original subdivision that is within 200 feet of the lots to be replatted according to the most recent municipality or county tax roll. This subsection does not apply to a proposed replat if the municipal planning commission or the

governing body of the municipality holds a public hearing and gives notice of the hearing in the manner provided by Subsection (b).

(g) The notice of a replat approval required by Subsection (f) must include:

(1) the zoning designation of the property after the replat; and

(2) a telephone number and e-mail address an owner of a lot may use to contact the municipality about the replat.

SECTION 8. Subchapter A, Chapter 232, Local Government Code, is amended by adding Section 232.0023 to read as follows:

Sec. 232.0023. APPROVAL PROCEDURE: APPLICABILITY. The plat application approval procedures under this subchapter apply to a county regardless of whether the county has entered into an interlocal agreement, including an interlocal agreement between a municipality and county under Section 242.001(d).

SECTION 9. The heading to Section 232.0025, Local Government Code, is amended to read as follows:

Sec. 232.0025. APPROVAL PROCEDURE: TIMELY APPROVAL OF PLATS AND PLANS.

SECTION 10. Section 232.0025, Local Government Code, is amended by amending Subsections (d), (f), (g), (h), and (i), and adding Subsection (d-1) to read as follows:

(d) Except as provided by Subsection (f), the commissioners court or the court's designee shall approve, approve with conditions, or disapprove ~~[take final action on]~~ a plat application ~~[, including the resolution of all appeals,]~~ not later than the 30th ~~[60th]~~ day after the date the ~~[a]~~ completed ~~[plat]~~ application is received by the commissioners court or the court's designee. An application is approved by the commissioners court or the court's designee unless the application is disapproved within that period and in accordance with Section 232.0026.

(d-1) Notwithstanding Subsection (d), if a groundwater availability certification is required under Section 232.0032, the 30-day period described by that subsection begins on the date the applicant submits the groundwater availability certification to the commissioners court or the court's designee, as applicable.

(f) The 30-day ~~[60-day]~~ period under Subsection (d):

(1) may be extended for a [reasonable] period not to exceed 30 days, if:

(A) requested and agreed to in writing by the applicant and approved by the commissioners court or the court's designee; or

(B) [-(2) may be extended 60 additional days if] Chapter 2007, Government Code, requires the county to perform a takings impact assessment in connection with the ~~[a]~~ plat application; and

(2) [-(3)] applies only to a decision wholly within the control of the commissioners court or the court's designee.

(g) The commissioners court or the court's designee shall make the determination under Subsection (f)(1) ~~[(f)(2)]~~ of whether the 30-day ~~[60-day]~~ period will be extended not later than the 20th day after the date a completed plat application is received by the commissioners court or the court's designee.

(h) The commissioners court or the court's designee may not require ~~[compel]~~ an applicant to waive the time limits or approval procedure contained in this subchapter ~~[section]~~.

(i) If the commissioners court or the court's designee fails to approve, approve with conditions, or disapprove a plat application ~~[take final action on the plat]~~ as required by this subchapter ~~[Subsection (d)]~~:

(1) the commissioners court shall refund the greater of the unexpended portion of any ~~[plat]~~ application fee or deposit or 50 percent of an ~~[a plat]~~ application fee or deposit that has been paid;

(2) the ~~[plat]~~ application is granted by operation of law; and

(3) the applicant may apply to a district court in the

county where the tract of land is located for a writ of mandamus to compel the commissioners court to issue documents recognizing the plat application's [plat's] approval.

SECTION 11. Subchapter A, Chapter 232, Local Government Code, is amended by adding Sections 232.0026, 232.0027, 232.0028, 232.00285, and 232.0029 to read as follows:

Sec. 232.0026. APPROVAL PROCEDURE: CONDITIONAL APPROVAL OR DISAPPROVAL REQUIREMENTS. (a) A commissioners court or designee that conditionally approves or disapproves of a plat application under this subchapter shall provide the applicant a written statement of the conditions for the conditional approval or the reasons for disapproval that clearly articulates each specific condition for the conditional approval or reason for disapproval.

(b) Each condition or reason specified in the written statement:

(1) must:

(A) be directly related to the requirements of this subchapter; and

(B) include a citation to the law, including a statute or order, that is the basis for the conditional approval or disapproval, if applicable; and

(2) may not be arbitrary.

Sec. 232.0027. APPROVAL PROCEDURE: APPLICANT RESPONSE TO CONDITIONAL APPROVAL OR DISAPPROVAL. After the conditional approval or disapproval of a plat application under Section 232.0026, the applicant may submit to the commissioners court or designee that conditionally approved or disapproved the application a written response that satisfies each condition for the conditional approval or remedies each reason for disapproval provided. The commissioners court or designee may not establish a deadline for an applicant to submit the response.

Sec. 232.0028. APPROVAL PROCEDURE: APPROVAL OR DISAPPROVAL OF RESPONSE. (a) A commissioners court or designee that receives a response under Section 232.0027 shall determine whether to approve or disapprove the applicant's previously conditionally approved or disapproved plat application not later than the 15th day after the date the response was submitted under Section 232.0027.

(b) A commissioners court or designee that conditionally approves or disapproves a plat application following the submission of a response under Section 232.0027:

(1) must comply with Section 232.0026; and

(2) may disapprove the application only for a specific condition or reason provided to the applicant for the original application under Section 232.0026.

(c) A commissioners court or designee that receives a response under Section 232.0027 shall approve a previously conditionally approved or disapproved plat application if the applicant's response adequately addresses each condition for the conditional approval or each reason for the disapproval.

(d) A previously conditionally approved or disapproved plat application is approved if:

(1) the applicant filed a response that meets the requirements of Subsection (c); and

(2) the commissioners court or designee that received the response does not disapprove the application on or before the date required by Subsection (a) and in accordance with Section 232.0026.

Sec. 232.00285. DEVELOPMENT PLAN REVIEW. (a) In this section, "development plan" includes a preliminary plat, preliminary subdivision plan, subdivision construction plan, site plan, general plan, land development application, or site development plan.

(b) Unless explicitly authorized by another law of this state, a county may not require a person to submit a development plan during the plat approval process required by this subchapter. If a county is authorized under another law of this state to require approval of a development plan, the county must comply with the

approval procedures under this subchapter during the approval process.

Sec. 232.0029. JUDICIAL REVIEW OF DISAPPROVAL. In a legal action challenging a disapproval of a plat application under this subchapter, the county has the burden of proving by clear and convincing evidence that the disapproval meets the requirements of this subchapter or any applicable case law. The court may not use a deferential standard.

SECTION 12. Section 232.0025(e), Local Government Code, is repealed.

SECTION 13. The change in law made by this Act applies only to a plat application filed on or after the effective date of this Act. A development or plan application filed before the effective date of this Act is governed by the law in effect immediately before the effective date of this Act, and that law is continued in effect for that purpose.

SECTION 14. This Act takes effect September 1, 2019.

\_\_\_\_\_  
President of the Senate

\_\_\_\_\_  
Speaker of the House

I certify that H.B. No. 3167 was passed by the House on May 2, 2019, by the following vote: Yeas 119, Nays 18, 1 present, not voting.

\_\_\_\_\_  
Chief Clerk of the House

I certify that H.B. No. 3167 was passed by the Senate on May 21, 2019, by the following vote: Yeas 27, Nays 3, 1 present, not voting

\_\_\_\_\_  
Secretary of the Senate

APPROVED:

\_\_\_\_\_  
Date

\_\_\_\_\_  
Governor



**CITY OF ROCKWALL**  
CITY COUNCIL MEMORANDUM

**PLANNING AND ZONING DEPARTMENT**  
385 S. GOLIAD STREET • ROCKWALL, TX 75087  
PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

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**TO:** Mayor and City Council

**CC:** Rick Crowley, *City Manager*  
Mary Smith, *Assistant City Manager*  
Joey Boyd, *Assistant City Manager*

**FROM:** Ryan Miller, *Director of Planning and Zoning*

**DATE:** July 15, 2019

**SUBJECT:** Amendment to Article IX, *Fences*, of Chapter 10, *Building and Building Regulations*, of the Municipal Code of Ordinances

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The City's fence standards are located in Article IX, *Fences*, of Chapter 10, *Building and Building Regulations*, of the Municipal Code of Ordinances. Staff is requesting that the City Council consider moving this section to Article VIII, *Landscape Standards*, of the Unified Development Code (UDC) for the purpose of [1] bringing the fence standards under the zoning ordinance, [2] better distinguishing the standards between residential, commercial, and industrial fences, and [3] changing the process for residential front yard fences. By making the proposed changes all variances or exceptions to the fence standards would be able to be acted upon by the Planning and Zoning Commission with the City Council acting as an appeals board. This is similar to how the City currently handles variances and exceptions to the City's *General Residential, Commercial and Industrial Design Standards*. If the City Council chooses to direct staff to make the proposed changes, this amendment could be combined with the amendments necessary to address the changes resulting from the 86<sup>th</sup> Legislative Session. Staff has included a copy of the City's current fence requirements, and will be available at the work session on July 15, 2019 to answer any questions.

# *ARTICLE XI, FENCES, CHAPTER 10, BUILDING AND BUILDING REGULATIONS, MUNICIPAL CODE OF ORDINANCES*

## *DIVISION 1: GENERALLY*

### *SECTION 10-402: DEFINITIONS*

For the purposes of this article, the term "fence" means any wall or structure of any material, the purpose of which is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building or structure.

*(Ord. No. 04-05, § 1(6-124), 1-20-2004)*

### *SECTION 10-403: PERMIT REQUIRED; APPLICATIONS; FEES*

No fence shall be constructed within the city without the owner or person in control of such premises, or his agent or contractor, having secured a permit therefor from the building official or his designee. A fence repair permit shall be required for the replacement of 25 linear feet or more of fencing and/or the replacement of five or more posts. When five or more posts are replaced, replacement posts must be metal posts. Applications shall be made and a permit issued on forms promulgated by the code official for such purpose. The fees for such permits shall be in amounts as established from time to time by resolution of the city council.

*(Ord. No. 04-05, § 1(6-125), 1-20-2004)*

### *SECTION 10-404: EXCEPTIONS*

The following shall be exceptions to the terms of this article:

- (1) Dikes and retaining walls for the purpose of diverting water and retaining soil shall not be considered fences within the terms of this article.
- (2) Fences existing and in place at the time of the enactment of the ordinance from which this article is derived shall be excused from the permit provisions hereof. However, such fences shall be maintained to comply with the provisions hereof. Any such fence or any fence in an area annexed by the city after the effective date of the ordinance from which this article is derived shall be subject to the provisions of this article in the event of reconstruction, modification, enlargement, extension, alteration or any construction thereto other than normal maintenance thereof.

*(Ord. No. 04-05, § 1(6-132), 1-20-2004)*

### *SECTIONS 10-405—10-423: RESERVED*

## *DIVISION 2: CONSTRUCTION STANDARDS*

### *SECTION 10-424: SPECIAL PERMIT FOR REQUIRED FRONT YARD*

- (a) No fence shall be constructed in the required front yard of a residential property or of a tract or parcel of land adjacent to I-30 without first being granted a special permit by the city council. The city council may authorize the issuance of a special permit for the construction of a front yard fence subject to the provisions of this division. The city council, in considering and determining action on any request for a special permit, may require from the applicant plans, drawings, and other information concerning the proposed front yard fence. The city council may establish conditions of construction of any fence for which a special permit is authorized. However, no front yard fence proposed in a residential subdivision may be constructed without complying with any approved active deed restrictions for the subdivision.

(1) No fence shall be placed in the required front yard of a residential property in excess of 42 inches in height and constructed of wood or 48 inches in height and constructed of wrought iron, or in a non-residentially zoned area in excess of eight feet in height and shall be constructed of wrought iron. No opaque fences will be allowed in the required front yard.

(b) Exceptions.

(1) Model homes meeting the requirements as follows:

- a. The maximum height of front yard fence is not to exceed 42 inches.
- b. No opaque fences allowed in the front yard, fences must be 50 percent see-through.
- c. The fence must be architecturally harmonious with the development and of split rail, picket, vinyl, or wrought iron.
- d. These fences are only temporary and must be removed, or city council approval sought at such time permanent residency will be established.

(2) Single-Family—Estate (SF-E) meeting the requirements as follows:

- a. No opaque fences allowed in the front yard, fences must be 50 percent see-through.
- b. Front yard fences shall be no more than 48 inches in height.
- c. Front yard fences shall be architecturally harmonious with the development, and of split rail, picket, vinyl, wrought iron or painted steel pipe.

*(Ord. No. 04-05, § 1(6-126), 1-20-2004; Ord. No. 06-10, § 1(6-126), 3-20-2006; Ord. No. 11-23, § 1, 6-6-2011; Ord. No. 17-15, § 1, 3-20-2017)*

#### **SECTION 10-425: STANDARDS; SPECIFICATIONS; PROHIBITIONS**

The following regulations shall apply to the construction of fences within the city, except for additional standards or requirements referenced in article V and article X of the Unified Development Code:

- (1) No fence, guy wire, brace, light standard, sign, vee arm barbed wire base and arm, or any structure attached to a fence shall protrude over any property line.
- (2) No chainlink fence shall be allowed within ten feet of the property lines unless completely screened from adjacent public areas and properties by either structure or solid landscape screening.
- (3) Precast solid fencing shall require special approval by the planning and zoning commission.
- (4) Fence height requirements. All fence heights shall be measured vertically from the inside natural or mean grade elevation of the yard.
  - a. No residential fence shall exceed eight feet in height.
  - b. No nonresidential fence shall exceed 12 feet in height.
- (5) Fences may be placed in the required yards, as regulated in this article, and meeting the following conditions:
  - a. Corner lots in residentially zoned areas which have rear lot lines adjacent to alleys, or other rear lot lines. Fences may be constructed not to exceed eight feet in height along the side yard and rear yard lines as indicated on appendix B, attached to the ordinance from which this section is derived.
  - b. Corner lots in residentially zoned areas where the rear lot line is adjacent to a side lot line of an adjoining lot. Only fences not exceeding 42 inches in height and meeting the material requirements of a front yard fence in residentially zoned areas shall be constructed beyond the side building line

as indicated on appendix C, attached to the ordinance from which this section is derived. Fences constructed on or behind the building line shall not exceed eight feet in height.

- c. Where an alley 15 feet or greater in width intervenes between the above-described lots, or a natural barrier of 15 feet or greater in width exists, such as creeks, railroads or easements where fences are prohibited, a fence not exceeding eight feet in height may be erected on the street side of the property line, indicated on appendix D, attached to the ordinance from which this section is derived.
  - d. Through lots in residentially zoned areas with street frontage on both the front and rear property line. Fences may be constructed not to exceed eight feet in height along the side yard and rear yard lines on through lots where all lots within the block have a rear yard along the same street frontage, as indicated on appendix E - Example 1, attached to the ordinance from which this section is derived.
  - e. When both front and rear yards are located along the same street frontage within a block, fences constructed within the designated rear yard shall not exceed 42 inches in height and shall meet the material requirements of a front yard fence in residentially zoned areas, as indicated on appendix E, Example 2, attached to the ordinance from which this section is derived, unless a variance to this request is granted by the zoning board of adjustment, as provided in section 10-447.
- (6) Fences may be constructed of materials subject to the provisions of this article and the other codes and ordinances of the city.
- a. Permitted materials are wood pickets, chain link, wrought iron, decorative metal (i.e. with the appearance of wrought iron but is made from powder-coated steel, aluminum or covered with a corrosion protection finish), brick, split face CMU blocks, stone, vinyl, fiberglass composite, painted steel pipe where allowed, barbed wire where allowed, concrete with stone face/form liner. Stucco is allowed on residential properties.
  - b. Any other materials that are not manufactured specifically as fencing materials are prohibited.
- (7) Solid wood fencing exceeding 48 inches in height must be constructed using metal post set in concrete, or brick or stone columns.
- (8) It shall be unlawful for any person to construct or maintain any electrical fence or electrical attachment of any type, dimension, or composition on any fence within the city. Barbed wire fences may be used without restrictions when in conjunction with agricultural related uses; provided, however, no barbed wire fence shall be located on any platted property that is zoned or used as a residential property. In areas where barbed wire fences are allowed, arms or base and arms with barbed wire not to exceed three strands will be permitted. Concertina/razor wire shall be prohibited. Such attachments will be considered part of the fence for the purposes of determining the maximum height of said fence.
- (9) The code official may permit temporary fencing for the purpose of protection or securing of construction sites. The duration of use must be stated in the application for a permit. Barbed wire fences may be allowed for temporary use upon approval of the location, height, and construction by the building official.

*(Ord. No. 04-05, § 1(6-127), 1-20-2004; Ord. No. 06-10, § 1(6-127), 3-20-2006; Ord. No. 11-23, § 1, 6-6-2011; Ord. No. 17-15, § 1, 3-20-2017)*

#### **SECTION 10-426: SWIMMING POOL, SPA AND HOT TUB/BARRIER REQUIREMENTS**

- (a) The top of the barrier shall be at least 48 inches (1,219 mm) above grade measured on the side of the barrier which faces away from the swimming pool. The maximum vertical clearance between grade and the bottom of the barrier shall be two inches (51 mm) measured on the side of the barrier which faces away from the swimming pool. Where the top of the pool structure is above grade, such as an aboveground pool, the barrier may be at ground level, such as the pool structure, or mounted on top of the pool structure. Where the barrier is mounted on top of the pool structure, the maximum vertical clearance between the top of the pool structure and the bottom of the barrier shall be four inches (102 mm).

- (b) Openings in the barrier shall not allow passage of a four-inch-diameter (102 mm) sphere.
- (c) Solid barriers which do not have openings, such as a masonry or stone wall, shall not contain indentations or protrusions except for normal construction tolerances and tooled masonry joints.
- (d) Placement of members.
  - (1) Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than 45 inches (1,143 mm), the horizontal members shall be located on the swimming pool side of the fence. Spacing between vertical members shall not exceed 1.75 inches (44 mm) in width. Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed 1.75 inches (44 mm) in width.
  - (2) Exception. Boards with a minimum 60-degree angle, cut and placed at the top of the horizontal fence members, may be used on existing fences that will become pool barriers. This exception does not apply to fences adjacent to public right-of-way.
- (e) Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is 45 inches (1,143 mm) or more, spacing between vertical members shall not exceed four inches (102 mm). Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed 1.75 inches (44 mm) in width.
- (f) Maximum mesh size for chainlink fences shall be a 2.25-inch (57 mm) square unless the fence is provided with slats fastened at the top or the bottom, which reduce the openings to not more than 1.75 inches (44 mm).
- (g) Where the barrier is composed of diagonal members, such as a lattice fence, the maximum opening formed by the diagonal members shall not be more than 1.75 inches (44 mm).
- (h) Access gates shall comply with the requirements of subsections (a) through (g) of this section, and shall be equipped to accommodate a locking device. Pedestrian access gates shall open outward away from the pool and shall be self-closing and have a self-latching device. Gates other than pedestrian access gates shall have a self-latching device. Where the release mechanism of the self-latching device is located less than 54 inches (1,372 mm) from the bottom of the gate, the release mechanism and openings shall comply with the following:
  - (1) The release mechanism shall be located on the pool side of the gate at least three inches (76 mm) below the top of the gate; and
  - (2) The gate and barrier shall have no opening greater than 0.5 inch (12.7 mm) within 18 inches (457 mm) of the release mechanism.
- (i) Where a wall of a dwelling serves as part of the barrier, one of the following conditions shall be met:
  - (1) The pool shall be equipped with a powered safety cover in compliance with ASTM F1346;
  - (2) All doors with direct access to the pool through that wall shall be equipped with an alarm which produces an audible warning when the door and/or its screen, if present, are opened. The alarm shall be listed in accordance with UL 2017. The audible alarm shall activate within seven seconds and sound continuously for a minimum of 30 seconds immediately after the door and/or its screen, if present are opened and be capable of being heard throughout the house during normal household activities. The alarm shall automatically reset under all conditions. The alarm shall be equipped with a manual means, such as touchpad or switch, to temporarily deactivate the alarm for a single opening. Deactivation shall last for not more than 15 seconds. The deactivation switch shall be located at least 54 inches (1,372 mm) above the threshold of the door; or
  - (3) Other means of protection, such as self-closing doors with self-latching devices, which are approved by the city council, shall be acceptable so long as the degree of protection afforded is not less than the protection afforded by subsection (i)(1) or (i)(2) of this section.

(j) Where an aboveground pool structure is used as a barrier or where the barrier is mounted on top of the pool structure and the means of access is a ladder or steps, then:

- (1) The ladder or steps shall be capable of being secured, locked or removed to prevent access; or
- (2) The ladder or steps shall be surrounded by a barrier which meets the requirements of subsections (a) through (i) of this section. When the ladder or steps are secured, locked or removed, any opening created shall not allow the passage of a four-inch-diameter (102 mm) sphere.

(k) Fence barrier exceptions for spas or hot tubs are as follows:

- (1) Safety covers for spas and hot tubs must comply with ASTM F1346-91.
- (2) There should be a means of fastening the safety cover to the hot tub or spa, such as key locks, combination locks, special tool, or similar devices.
- (3) The safety cover should have a label that provides a warning and message regarding the risk of drowning.
- (4) The cover should have been tested to demonstrate that it is capable of supporting the weight of one child (50 pounds) and one adult (225 pounds).
- (5) There shall be no openings in the cover itself or at any point where the cover joins the surface of the hot tub or spa that would not allow a four-inch sphere to pass through.
- (6) Safety covers are to be installed in accordance with the manufacture's instructions.

*(Ord. No. 04-05, § 1(6-128), 1-20-2004; Ord. No. 06-10, § 1(6-128), 3-20-2006; Ord. No. 08-03, § 1(exh. A, art. IX(6-129)), 1-22-2008)*

**SECTIONS 10-427—10-445: RESERVED**

## **DIVISION 3. - ADMINISTRATION**

### **SECTION 10-446: INSPECTION UPON COMPLETION**

Upon completion of a fence constructed under a permit issued by the building official, an inspection shall be made thereof by the building official or his designated representative. If the fence is constructed in accordance with the provisions of this article, the permit, and the application, the building official will issue written notice of acceptance to the permit holder. Any and all fences in the city shall hereafter be constructed under the provisions of this article and existing fences shall be maintained so as to comply with the requirements of this article at all times.

*(Ord. No. 04-05, § 1(6-130), 1-20-2004)*

### **SECTION 10-447: VARIANCES**

The city council is hereby authorized, after public notice has been given and a public hearing has been held, to hear and decide on requests for variances as it feels will alleviate an unnecessary hardship on a property owner resulting from the literal enforcement of the requirements in this article.

*(Ord. No. 17-15, § 1, 3-20-2017)*

*Editor's note— Ord. No. 17-15, § 1, adopted March 20, 2017, amended the Code by repealing former § 10-447 and adding a new § 10-447. Former § 10-447 pertained to appeals, and derived from Ord. No. 04-05, adopted January 20, 2004.*

### **SECTION 10-448: MAINTENANCE**

- (a) No person owning, leasing, occupying, or having charge of any premises shall maintain or keep a fence in dilapidated condition that, although functional, creates an unsightly condition that substantially detracts from the appearance of the neighborhood.
- (b) Each structural and decorative member of a fence shall be free of deterioration and be compatible in size, material, and appearance with the remainder of the fence. Fences shall not be externally braced in lieu of replacing or repairing posts, columns, or other structural members.
- (c) The fence shall not be out of vertical alignment more than one (1) foot from the vertical measured at the top of the fence. Except, however, for fencing four (4) feet or less in height, the vertical alignment shall not be more than six (6) inches from the vertical measured at the top of the fence.
- (d) Upon becoming aware of conditions set forth in subsections (a) through (c) of this section, the Neighborhood Improvement Services Representative shall make a determination as to whether the fence condition is a nuisance and should be abated. If so, the Neighborhood Improvement Services Representative shall give notice to such person having control of the premises to remedy such condition within ten days, unless good cause can be shown that additional time is needed to rectify the condition.

*(Ord. No. 04-05, § 1(6-133), 1-20-2004; Ord. No. 17-15, § 1, 3-20-2017)*

**SECTIONS 10-449—10-465: RESERVED**

## City of Rockwall Project Plan Review History



<b>Project Number</b> P2019-029	<b>Owner</b> ROBERSON, COREY WAYNE	<b>Applied</b> 7/12/2019 LM
<b>Project Name</b> Northgate	<b>Applicant</b> MICHAEL JOYCE PROPERTIES	<b>Approved</b>
<b>Type</b> PLAT		<b>Closed</b>
<b>Subtype</b> PRELIMINARY		<b>Expired</b>
<b>Status</b> Staff Review		<b>Status</b>

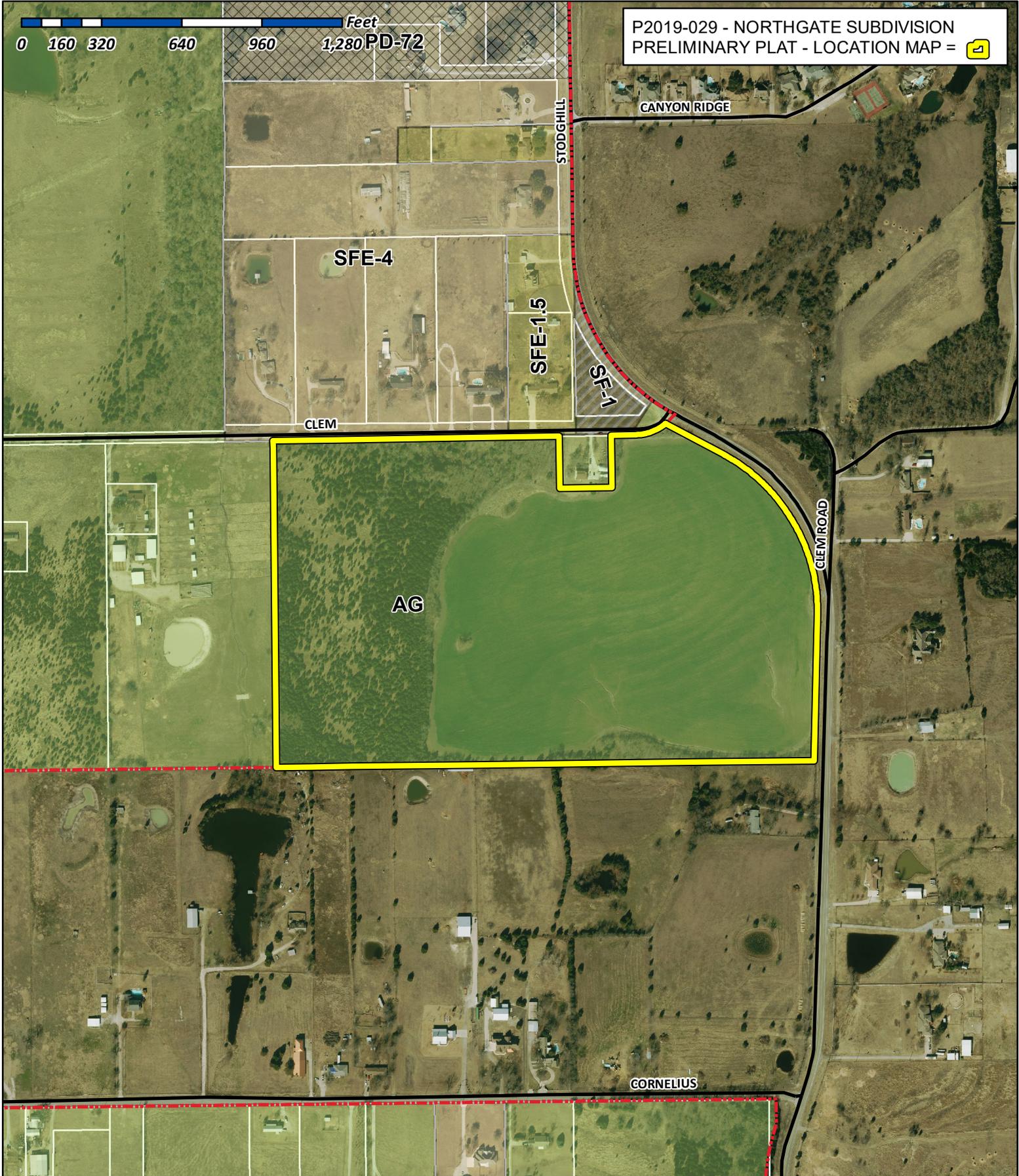
<b>Site Address</b> 961 CLEM RD	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
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<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
	8		8	0072-0000-0008-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/12/2019	7/19/2019	7/15/2019	3	APPROVED	
ENGINEERING (7/25/2019 1:49 PM SH) - See comments on Site Plan and Master Plat	Sarah Hager	7/12/2019	7/19/2019	7/25/2019	13	COMMENTS	
FIRE	Ariana Hargrove	7/12/2019	7/19/2019	7/18/2019	6	APPROVED	
GIS	Lance Singleton	7/12/2019	7/19/2019				
PLANNING	Korey Brooks	7/12/2019	7/19/2019	7/25/2019	13	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>P2019-029 Preliminary Plat for Northgate Subdivision</p> <p>Please address the following comments (M= Mandatory Comments; I = Informational Comments).</p> <p>I.1 This a request by Ryan Joyce of Michael Joyce Properties on behalf of Jen-Liang Wu of Unison Investment for the approval of a master plat for the Northgate Subdivision being a 61.45-acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, located at the southwest corner of the intersection of Stodgehill Road [FM-3549] and Clem Road.</p> <p>I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</p> <p>M.3 For reference, include the case number (P2019-029) in the lower right hand corner of all pages on future submittals.</p> <p>M.4 Please note landscape buffer requirements from PD ordinance. Landscape and Hardscape Standards.</p> <p>(1) Landscape. Landscaping shall be reviewed and approved with the PD Site Plan. All Canopy/Shade Trees planted within this development shall be a minimum of four (4) caliper inches in size and all Accent/Ornamental/Under-Story Trees shall be a minimum of four (4) feet in total height.</p> <p>(2) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).</p> <p>(a) Landscape Buffer and Sidewalks (FM-3549). A minimum of a 30-foot landscape buffer shall be provided along FM-3549 (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 30-foot landscape buffer adjacent to FM-3549.</p> <p>(b) Landscape Buffer and Sidewalks (Clem Road). A minimum 20-foot landscape buffer shall be provided</p> <p>M.5 Please provide lot mix chart.</p> <p>M.6 Please provide Block for each block. Currently, it cannot be determined which block a lot is located in.</p> <p>M.7 Please provide centerline for adjacent roadways (e.g. Clem Road and FM-3549).</p> <p>M.8 The preliminary plat should not have dedication language.</p> <p>M.9 The preliminary plat should include preliminary drainage plan and preliminary utility plan. Also, please ensure that all utilities are on the plat.</p> <p>M.10 It is possible to fit the entire plan on one page?</p> <p>M.11 The visibility triangles are difficult to see. Also, please see the Unified Development Code regarding the requirements.</p> <p>M.12 Please provide precise locations of entryway signage.</p> <p>M.13 Please provide vicinity map for concept plan.</p> <p>I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by August 6, 2019. The Planning and Zoning Worksession for this case is July 30, 2019. The Park Board Meeting for this case is August 6, 2019. The Planning and Zoning Meeting for this case is August 13, 2019.</p> <p>I.15 The projected City Council meeting date and subsequent approval for this request is August 19, 2019 and September 3, 2019.</p>						
<p>P2019-030 Master Plat for Northgate Subdivision</p> <p>Please address the following comments (M= Mandatory Comments; I = Informational Comments).</p> <p>I.1 This a request by Ryan Joyce of Michael Joyce Properties on behalf of Jen-Liang Wu of Unison Investment for the approval of a preliminary plat for the Northgate Subdivision containing 61 single-family residential lots on a 61.45-acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, located at the southwest corner of the intersection of Stodgehill Road [FM-3549] and Clem Road.</p>						

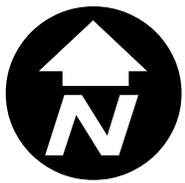
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
I.2						For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
M.3						For reference, include the case number (P2019-030) in the lower right hand corner of all pages on future submittals.
M.4						Please see comments above.
M.5						If this will be complete in phases, please indicate.
SP2019-028 Site Plan for Northgate Subdivision						
Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1						This is a request by Ryan Joyce of Michael Joyce Properties on behalf of Jen-Liang Wu of Union Investment for the approval of a site plan for the Northgate Subdivision being a 61.45-acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, located at the southwest corner of the intersection of Stodgehill Road [FM-3549] and Clem Road.
I.2						For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
M.3						For reference, include the case number (SP2019-028) in the lower right hand corner of all pages on future submittals.
M.4						Please note, Landscaping shall be reviewed and approved with the PD Site Plan. All Canopy/Shade Trees planted within this development shall be a minimum of four (4) caliper inches in size and all Accent/Ornamental/Under-Story Trees shall be a minimum of four (4) feet in total height.
(1)						Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
(c)						Landscape Buffer and Sidewalks (FM-3549). A minimum of a 30-foot landscape buffer shall be provided along FM-3549 (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 30-foot landscape buffer adjacent to FM-3549.
(d)						Landscape Buffer and Sidewalks (Clem Road). A minimum 20-foot landscape buffer shall be provided
(2)						Street Trees. Prior to issuance of a Certificate of Occupancy (CO), all residential single-family lots situated within the proposed subdivision shall be landscaped with canopy trees from the list stipulated by Section 7.1 of this ordinance in the following sizes and proportions:
(i)						Three (3), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of the required lots
(ii)						Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the rear yards of the required lots.
(iii)						Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the side yards facing the street.
(3)						Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
(4)						Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the PD Site Plan.
a.						Streets. All streets (excluding drives, fire lanes and private parking areas) shall be built according to the City's street standards as shown below in Figure 3 of the PD ordinance.
(5)						Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be permitted at all major and minor entry points for the proposed subdivision (shown in Figure %) of the PD ordinance. Final design and location of any entry features shall be reviewed and approved with the PD Site Plan. The developer shall provide enhanced landscaping areas within the Subject Property as generally depicted in Figure 4 of the PD Ordinance. The final design of these areas shall be provided on the PD Site Plan.

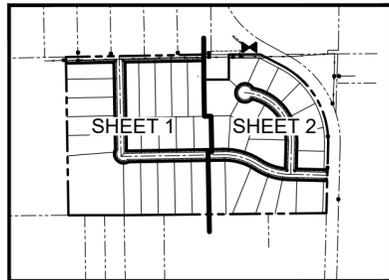
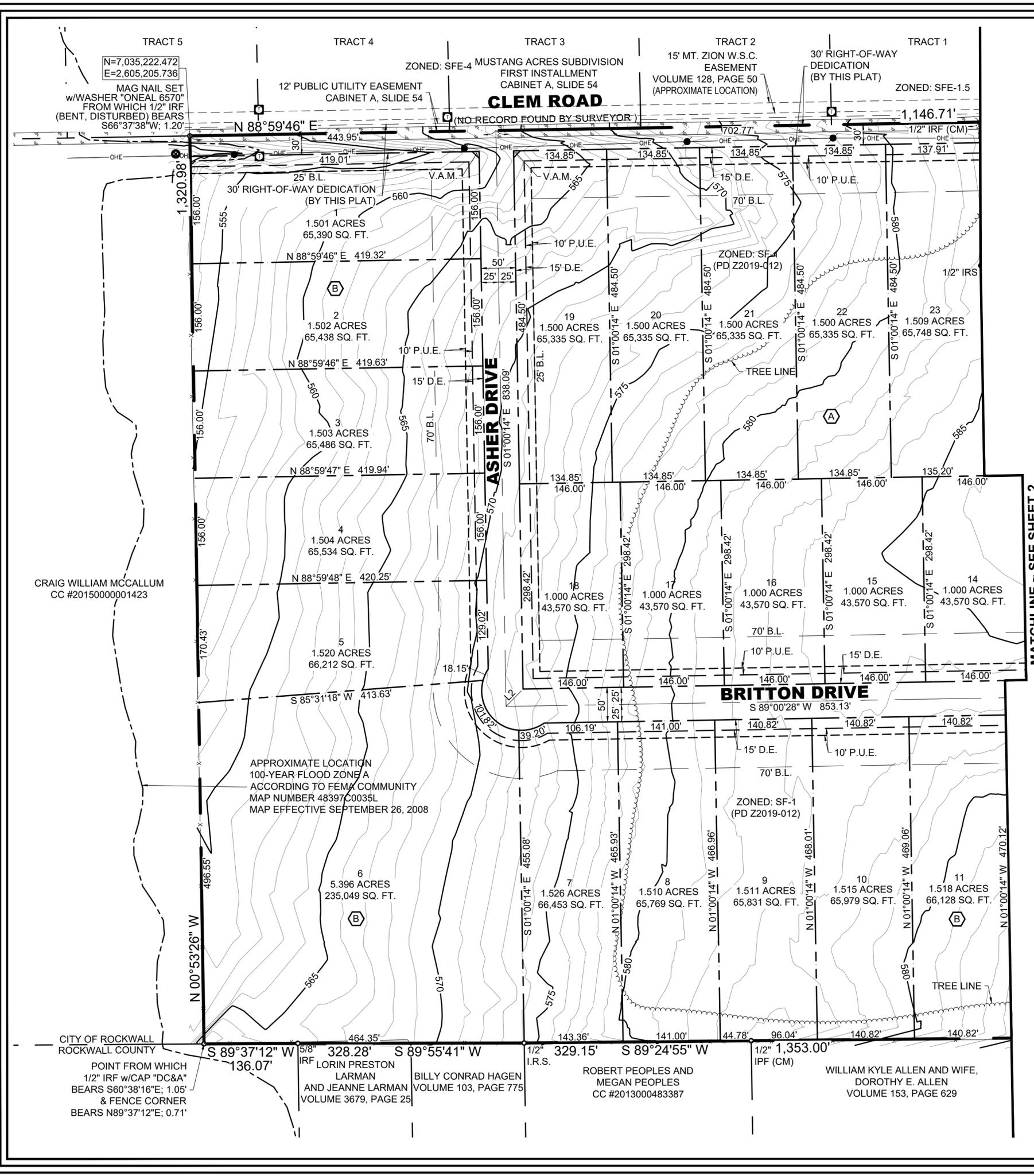


# City of Rockwall

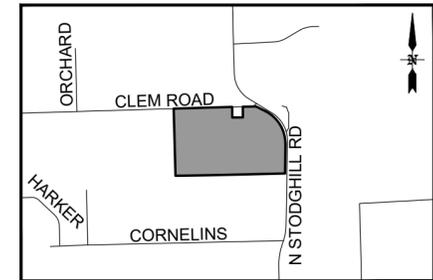
Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





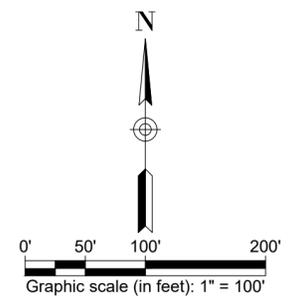
**KEY MAP**  
Scale: 1" = 1,000'



**VICINITY MAP**  
NOT TO SCALE

**ABBREVIATION LEGEND**

ABBR.	DEFINITION
IRS	Iron rod set
IRF	Iron rod found
IPF	Iron pipe found
PKF	PK nail found
CMON	Concrete monument found
CM	Controlling monument
O.P.R.R.C.T.	Official Public Records, Rockwall County, Texas
B.L.	Building line
P.U.E.	Public utility easement
D.E.	Drainage easement
C.A.	Common Area
V.A.M.	10'x10' Visibility, access & maintenance easement
◊	Indicates street name change



**NOTE:**

- It shall be the policy of the City of Rockwall to withhold issuing of building permits until all streets, water, sewer, and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance, or guarantee that any building within such plat shall be approved, authorized, or permit thereof issued, as required under Ordinance 83-54.

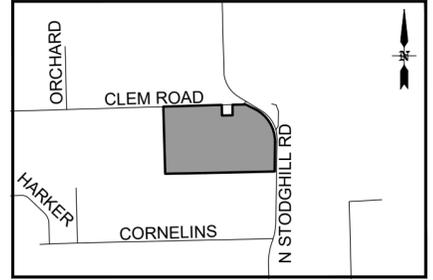
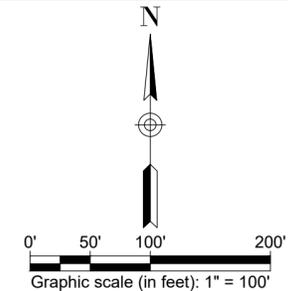
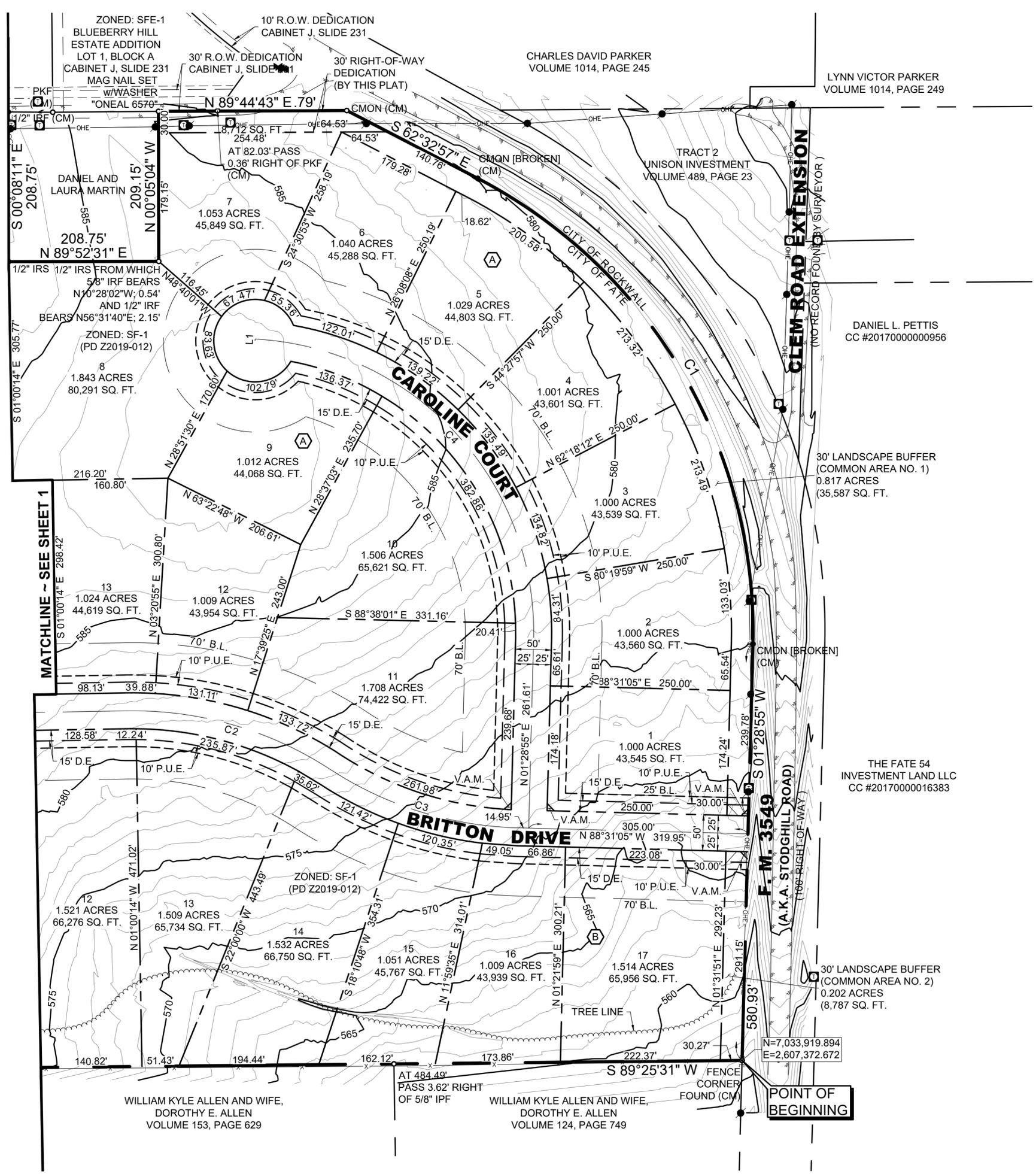
**PRELIMINARY PLAT**  
**NORTHGATE**  
LOTS 1-23, BLOCK A; LOTS 1-7, BLOCK B; 2 COMMON AREAS (LANDSCAPE BUFFERS) [42 LOTS]  
62.512 ACRES OUT OF THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CITY PROJECT NO. \_\_\_\_\_  
DATE OF PREPARATION: 6/26/19  
DATE OF LAST REVISION: 7/10/19

**OWNER**  
Unison Investment  
23545 Crenshaw Blvd., Suite 201  
Torrance, CA 90505

**DEVELOPER**  
Northgate Rockwall LD, LLC  
1189 Waters Edge Drive  
Rockwall, TX 75087

**LAND SURVEYOR**  
O'Neal Surveying Co.  
3111 Cole Avenue, Suite 101  
Dallas, Texas 75204  
(903) 804-2891  
Firm No. 10194132

ENGINEERING / PROJECT MANAGEMENT /  
CONSTRUCTION SERVICES - FIRM REG. #F-001145  
201 WINDCO CIR, SUITE 200, WYLIE, TX 75098  
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM



VICINITY MAP  
NOT TO SCALE

ABBR.	DEFINITION
IRS	Iron rod set
IRF	Iron rod found
IPF	Iron pipe found
PKF	PK nail found
CMON	Concrete monument found
CM	Controlling monument
O.P.R.R.C.T.	Official Public Records, Rockwall County, Texas
B.L.	Building line
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D.E.	Drainage easement
C.A.	Common Area
V.A.M.	10'x10' Visibility, access & maintenance easement
◊	Indicates street name change

**NOTE:**

- It shall be the policy of the City of Rockwall to withhold issuing of building permits until all streets, water, sewer, and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance, or guarantee that any building within such plat shall be approved, authorized, or permit thereof issued, as required under Ordinance 83-54.

**PRELIMINARY PLAT  
NORTHGATE**

LOTS 1-23, BLOCK A; LOTS 1-7, BLOCK B; 2 COMMON AREAS (LANDSCAPE BUFFERS) [42 LOTS]  
62.512 ACRES OUT OF THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CITY PROJECT NO. \_\_\_\_\_  
DATE OF PREPARATION: 6/26/19  
DATE OF LAST REVISION: 7/10/19

**OWNER**  
Unison Investment  
23545 Crenshaw Blvd., Suite 201  
Torrance, CA 90505

**DEVELOPER**  
Northgate Rockwall LD, LLC  
1189 Waters Edge Drive  
Rockwall, TX 75087

**LAND SURVEYOR**  
O'Neal Surveying Co.  
3111 Cole Avenue, Suite 101  
Dallas, Texas 75204  
(903) 804-2891  
Firm No. 10194132

ENGINEERING / PROJECT MANAGEMENT /  
CONSTRUCTION SERVICES - FIRM REG. #F-001145  
201 WINDCO CIR, SUITE 200, WYLIE, TX 75098  
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

**OWNER'S CERTIFICATION** [Public Dedication]

**STATE OF TEXAS** §  
**COUNTY OF ROCKWALL** §

WHEREAS Unison Investment, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

**BEING** 62.517 ACRES OF LAND LOCATED IN THE WILLIAM DALTON SURVEY, ABSTRACT NUMBER 72, ELLIS COUNTY, TEXAS, BEING ALL OF THAT CERTAIN CALLED 61.455 ACRE TRACT AS DESCRIBED TO UNISON INVESTMENT BY DEED RECORDED IN VOLUME 489, PAGE 23, DEED RECORDS, ROCKWALL COUNTY, TEXAS (D.R.R.C.T.) AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**BEGINNING** AT A FENCE CORNER FOUND IN THE WEST LINE OF FARM-TO-MARKET ROAD 3549 (100' RIGHT-OF-WAY) AT THE SOUTHEAST CORNER OF THE ABOVE-MENTIONED 61.455 ACRE TRACT;

**THENCE** SOUTH 89 DEGREES 25 MINUTES 31 SECONDS WEST, AT A DISTANCE OF 484.49 FEET PASS 3.62 FEET RIGHT OF A 5/8" IRON PIPE FOUND AND CONTINUING FOR A TOTAL DISTANCE OF 1353.00 FEET WITH THE SOUTH LINE OF SAID 61.455 ACRE TRACT TO A 1/2" IRON PIPE FOUND AT THE NORTHWEST CORNER OF THE WILLIAM KYLE ALLEN ET UX 12.888 ACRE TRACT AS DESCRIBED IN VOLUME 153, PAGE 629, (D.R.R.C.T.) AND THE NORTHEAST CORNER OF THE ROBERT PEOPLES AND MEGAN PEOPLES 10.00 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 2013000483387, (D.R.R.C.T.);

**THENCE** SOUTH 89 DEGREES 24 MINUTES 55 SECONDS WEST, A DISTANCE OF 329.15 FEET WITH THE SOUTH LINE OF SAID 61.455 ACRE TRACT TO A 1/2" IRON ROD WITH RED CAP STAMPED "ONEAL 6570" SET AT THE NORTHWEST CORNER OF THE ABOVE-MENTIONED 10.00 ACRE TRACT AND THE NORTHEAST CORNER OF THE BILLY CONRAD HAGEN 4.030 ACRE TRACT AS DESCRIBED IN VOLUME 103, PAGE 775, (D.R.R.C.T.);

**THENCE** SOUTH 89 DEGREES 55 MINUTES 41 SECONDS WEST, A DISTANCE OF 328.28 FEET WITH THE SOUTH LINE OF SAID 61.455 ACRE TRACT, SAME BEING THE COMMON NORTH LINE OF THE ABOVE-MENTIONED 4.030 ACRE TRACT AND THE LORIN PRESTON LARMAN AND JEANNE LARMAN 4.962 ACRE TRACT AS DESCRIBED IN VOLUME 3679, PAGE 25, (D.R.R.C.T.) TO A 5/8" IRON ROD FOUND AT THE NORTHWEST CORNER OF THE JUST MENTIONED 4.962 ACRE TRACT;

**THENCE** SOUTH 89 DEGREES 37 MINUTES 12 SECONDS WEST, A DISTANCE OF 136.07 FEET TO THE SOUTHWEST CORNER OF SAID 61.455 ACRE TRACT, SAME BEING THE COMMON SOUTHEAST CORNER OF THE CRAIG WILLIAM MCCALLUM 20.057 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 20150000001423, (D.R.R.C.T.), FROM WHICH A 1/2" IRON ROD WITH CAP STAMPED "DC&A" BEARS SOUTH 60 DEGREES 38 MINUTES 16 SECONDS EAST, A DISTANCE OF 1.05 FEET AND A FENCE CORNER BEARS NORTH 89 DEGREES 37 MINUTES 12 SECONDS EAST, A DISTANCE OF 0.71 FEET;

**THENCE** NORTH 00 DEGREES 53 MINUTES 26 SECONDS WEST, A DISTANCE OF 1320.98 FEET TO A MAG NAIL WITH WASHER STAMPED "ONEAL 6570" SET IN THE APPROXIMATE CENTERLINE OF CLEM ROAD (NO RECORD FOUND BY SURVEYOR) AT THE NORTHWEST CORNER OF SAID 61.455 ACRE TRACT AND THE NORTHEAST CORNER OF THE ABOVE-MENTIONED 20.057 ACRE TRACT;

**THENCE** NORTH 88 DEGREES 59 MINUTES 46 SECONDS EAST, A DISTANCE OF 1146.71 FEET WITH THE APPROXIMATE CENTERLINE OF CLEM ROAD AND THE NORTH LINE OF SAID 61.455 ACRE TRACT TO A 1/2" IRON ROD FOUND;

**THENCE** SOUTH 00 DEGREES 08 MINUTES 11 SECONDS EAST, A DISTANCE OF 208.75 FEET LEAVING CLEM ROAD TO A 1/2" IRON ROD WITH RED CAP STAMPED "ONEAL 6570" SET AT AN INTERIOR CORNER OF SAID 61.455 ACRE TRACT;

**THENCE** NORTH 89 DEGREES 52 MINUTES 31 SECONDS EAST, A DISTANCE OF 208.75 FEET TO A 1/2" IRON ROD WITH RED CAP STAMPED "ONEAL 6570" SET FOR AN INTERIOR CORNER OF SAID 61.455 ACRE TRACT;

**THENCE** NORTH 00 DEGREES 05 MINUTES 04 SECONDS WEST, A DISTANCE OF 209.15 FEET TO A MAG NAIL WITH WASHER STAMPED "ONEAL 6570" SET IN THE APPROXIMATE CENTERLINE OF CLEM ROAD AND AN EXTERIOR CORNER OF SAID 61.455 ACRE TRACT;

**THENCE** NORTH 89 DEGREES 44 MINUTES 43 SECONDS EAST, A DISTANCE OF 261.79 FEET WITH THE NORTH LINE OF SAID 61.455 ACRE TRACT TO A CONCRETE MONUMENT FOUND IN THE SOUTHWEST LINE OF FARM-TO-MARKET ROAD 3549;

**THENCE** SOUTH 62 DEGREES 32 MINUTES 57 SECONDS EAST, A DISTANCE OF 205.29 FEET WITH THE SOUTHWEST LINE OF FARM-TO-MARKET ROAD 3549 AND THE COMMON NORTHEAST LINE OF SAID 61.455 ACRE TRACT, TO A BROKEN CONCRETE MONUMENT FOUND AT THE BEGINNING OF A CURVE TO THE RIGHT HAVING A DELTA ANGLE OF 063 DEGREES 42 MINUTES 40 SECONDS, A RADIUS OF 713.94 FEET AND A LONG CHORD THAT BEARS SOUTH 30 DEGREES 30 MINUTES 10 SECONDS EAST FOR A DISTANCE OF 753.61 FEET;

**THENCE** SOUTHEASTERLY WITH SAID CURVE TO THE RIGHT AND THE SOUTHWEST LINE OF FARM-TO-MARKET ROAD 3549 AND THE COMMON NORTHEAST LINE OF SAID 61.455 ACRE TRACT, AN ARC LENGTH OF 793.88 FEET TO A BROKEN CONCRETE MONUMENT FOUND;

**THENCE** SOUTH 01 DEGREES 28 MINUTES 55 SECONDS WEST, WITH THE WEST LINE OF FARM-TO-MARKET ROAD 3549 AND THE COMMON EAST LINE OF SAID 61.455 ACRE TRACT, A DISTANCE OF 580.93 FEET TO THE **POINT OF BEGINNING** AND CONTAINING 62.517 ACRES OF LAND, MORE OR LESS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

**STATE OF TEXAS** §  
**COUNTY OF ROCKWALL** §

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the **NORTHGATE** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the **NORTHGATE** subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Mr. Jen-Liang Wu

**STATE OF TEXAS** §  
**COUNTY OF ROCKWALL** §

Before me, the undersigned authority, on this day personally appeared Mr. Jen-Liang Wu, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2019.

Notary Public in and for the State of Texas

My Commission Expires

[IF APPLICABLE:]

Signature of Party with Mortgage or Lien Interest

**STATE OF TEXAS** §  
**COUNTY OF ROCKWALL** §

Before me, the undersigned authority, on this day personally appeared [PROPERTY OWNER], known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2019.

Notary Public in and for the State of Texas

My Commission Expires

**SURVEYOR'S CERTIFICATE**

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Daniel Chase O'Neal, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

**PRELIMINARY ~ This document shall not be recorded for any purpose and shall not be used, reviewed, or relied upon as a final survey document.**

Daniel Chase O'Neal  
Texas Registered Professional Land Surveyor No. 6570

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Unison Investment  
23545 Crenshaw Blvd., Suite 201  
Torrance, CA 90505

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972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

STANDARD CITY SIGNATURE BLOCK

Planning & Zoning Commission, Chairman

Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2019.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2019.

Mayor, City of Rockwall

City Secretary

City Engineer

## City of Rockwall Project Plan Review History



<b>Project Number</b> P2019-029	<b>Owner</b> ROBERSON, COREY WAYNE	<b>Applied</b> 7/12/2019 LM
<b>Project Name</b> Northgate	<b>Applicant</b> MICHAEL JOYCE PROPERTIES	<b>Approved</b>
<b>Type</b> PLAT		<b>Closed</b>
<b>Subtype</b> PRELIMINARY		<b>Expired</b>
<b>Status</b> Staff Review		<b>Status</b>

<b>Site Address</b> 961 CLEM RD	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
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<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
	8		8	0072-0000-0008-00-OR	

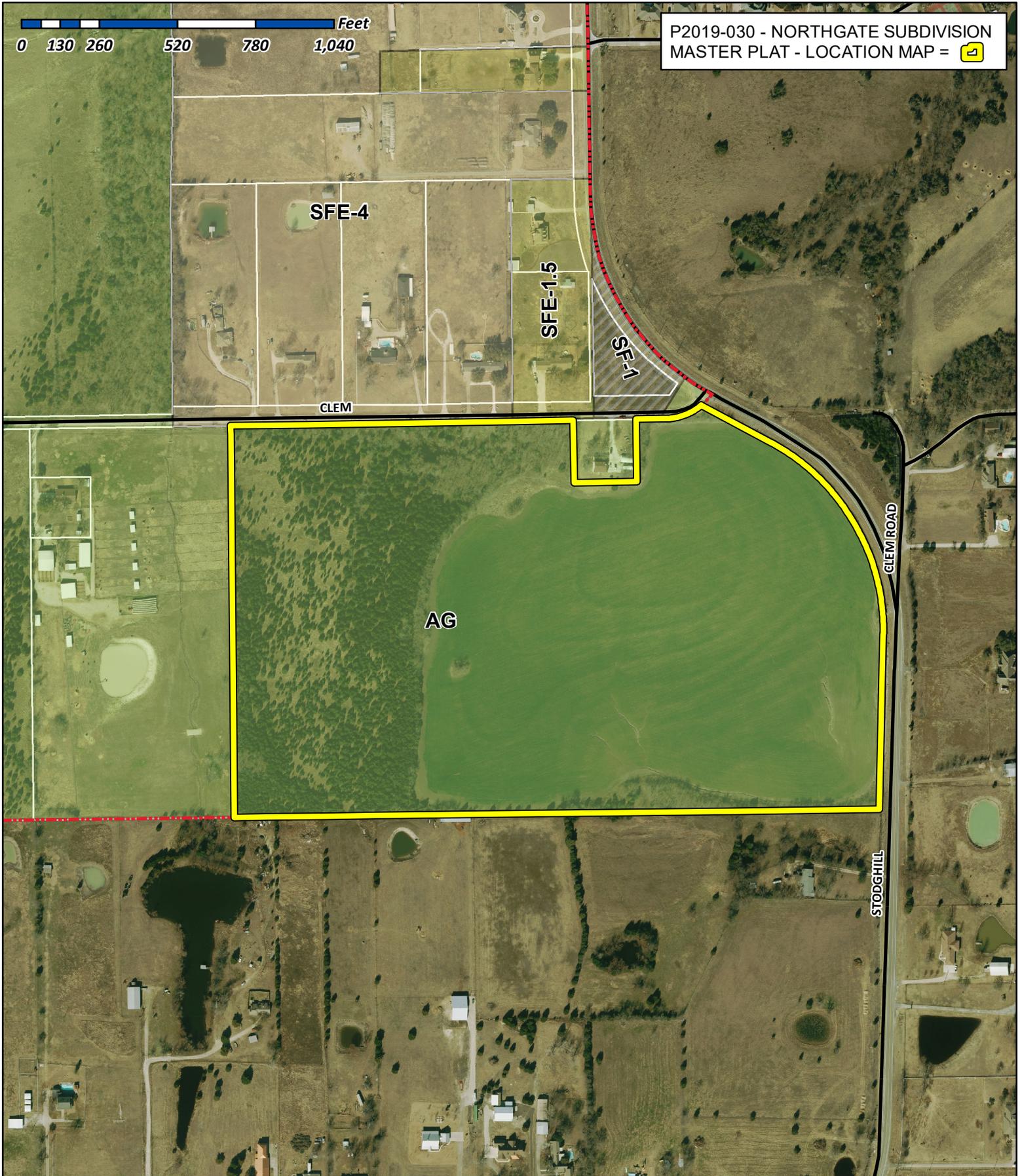
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/12/2019	7/19/2019	7/15/2019	3	APPROVED	
ENGINEERING	Amy Williams	7/12/2019	7/19/2019				
FIRE	Ariana Hargrove	7/12/2019	7/19/2019	7/18/2019	6	APPROVED	
GIS	Lance Singleton	7/12/2019	7/19/2019				
PLANNING	Korey Brooks	7/12/2019	7/19/2019	7/25/2019	13	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>P2019-029 Preliminary Plat for Northgate Subdivision</p> <p>Please address the following comments (M= Mandatory Comments; I = Informational Comments).</p> <p>I.1 This a request by Ryan Joyce of Michael Joyce Properties on behalf of Jen-Liang Wu of Unison Investment for the approval of a master plat for the Northgate Subdivision being a 61.45-acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, located at the southwest corner of the intersection of Stodgehill Road [FM-3549] and Clem Road.</p> <p>I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</p> <p>M.3 For reference, include the case number (P2019-029) in the lower right hand corner of all pages on future submittals.</p> <p>M.4 Please note landscape buffer requirements from PD ordinance. Landscape and Hardscape Standards.</p> <p>(1) Landscape. Landscaping shall be reviewed and approved with the PD Site Plan. All Canopy/Shade Trees planted within this development shall be a minimum of four (4) caliper inches in size and all Accent/Ornamental/Under-Story Trees shall be a minimum of four (4) feet in total height.</p> <p>(2) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).</p> <p>(a) Landscape Buffer and Sidewalks (FM-3549). A minimum of a 30-foot landscape buffer shall be provided along FM-3549 (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 30-foot landscape buffer adjacent to FM-3549.</p> <p>(b) Landscape Buffer and Sidewalks (Clem Road). A minimum 20-foot landscape buffer shall be provided</p> <p>M.5 Please provide lot mix chart.</p> <p>M.6 Please provide Block for each block. Currently, it cannot be determined which block a lot is located in.</p> <p>M.7 Please provide centerline for adjacent roadways (e.g. Clem Road and FM-3549).</p> <p>M.8 The preliminary plat should not have dedication language.</p> <p>M.9 The preliminary plat should include preliminary drainage plan and preliminary utility plan. Also, please ensure that all utilities are on the plat.</p> <p>M.10 It is possible to fit the entire plan on one page?</p> <p>M.11 The visibility triangles are difficult to see. Also, please see the Unified Development Code regarding the requirements.</p> <p>M.12 Please provide precise locations of entryway signage.</p> <p>M.13 Please provide vicinity map for concept plan.</p> <p>I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by August 6, 2019. The Planning and Zoning Worksession for this case is July 30, 2019. The Park Board Meeting for this case is August 6, 2019. The Planning and Zoning Meeting for this case is August 13, 2019.</p> <p>I.15 The projected City Council meeting date and subsequent approval for this request is August 19, 2019 and September 3, 2019.</p>						
<p>P2019-030 Master Plat for Northgate Subdivision</p> <p>Please address the following comments (M= Mandatory Comments; I = Informational Comments).</p> <p>I.1 This a request by Ryan Joyce of Michael Joyce Properties on behalf of Jen-Liang Wu of Unison Investment for the approval of a preliminary plat for the Northgate Subdivision containing 61 single-family residential lots on a 61.45-acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, located at the southwest corner of the intersection of Stodgehill Road [FM-3549] and Clem Road.</p>						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
I.2						For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
M.3						For reference, include the case number (P2019-030) in the lower right hand corner of all pages on future submittals.
M.4						Please see comments above.
M.5						If this will be complete in phases, please indicate.
SP2019-028 Site Plan for Northgate Subdivision						
Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1						This is a request by Ryan Joyce of Michael Joyce Properties on behalf of Jen-Liang Wu of Union Investment for the approval of a site plan for the Northgate Subdivision being a 61.45-acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, located at the southwest corner of the intersection of Stodgehill Road [FM-3549] and Clem Road.
I.2						For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
M.3						For reference, include the case number (SP2019-028) in the lower right hand corner of all pages on future submittals.
M.4						Please note, Landscaping shall be reviewed and approved with the PD Site Plan. All Canopy/Shade Trees planted within this development shall be a minimum of four (4) caliper inches in size and all Accent/Ornamental/Under-Story Trees shall be a minimum of four (4) feet in total height.
(1)						Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
(c)						Landscape Buffer and Sidewalks (FM-3549). A minimum of a 30-foot landscape buffer shall be provided along FM-3549 (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 30-foot landscape buffer adjacent to FM-3549.
(d)						Landscape Buffer and Sidewalks (Clem Road). A minimum 20-foot landscape buffer shall be provided
(2)						Street Trees. Prior to issuance of a Certificate of Occupancy (CO), all residential single-family lots situated within the proposed subdivision shall be landscaped with canopy trees from the list stipulated by Section 7.1 of this ordinance in the following sizes and proportions:
(i)						Three (3), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of the required lots
(ii)						Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the rear yards of the required lots.
(iii)						Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the side yards facing the street.
(3)						Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
(4)						Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the PD Site Plan.
a.						Streets. All streets (excluding drives, fire lanes and private parking areas) shall be built according to the City's street standards as shown below in Figure 3 of the PD ordinance.
(5)						Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be permitted at all major and minor entry points for the proposed subdivision (shown in Figure %) of the PD ordinance. Final design and location of any entry features shall be reviewed and approved with the PD Site Plan. The developer shall provide enhanced landscaping areas within the Subject Property as generally depicted in Figure 4 of the PD Ordinance. The final design of these areas shall be provided on the PD Site Plan.

0 130 260 520 780 1,040 Feet

P2019-030 - NORTHGATE SUBDIVISION  
MASTER PLAT - LOCATION MAP = 

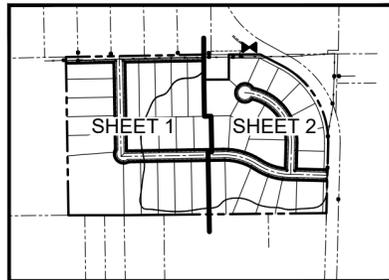
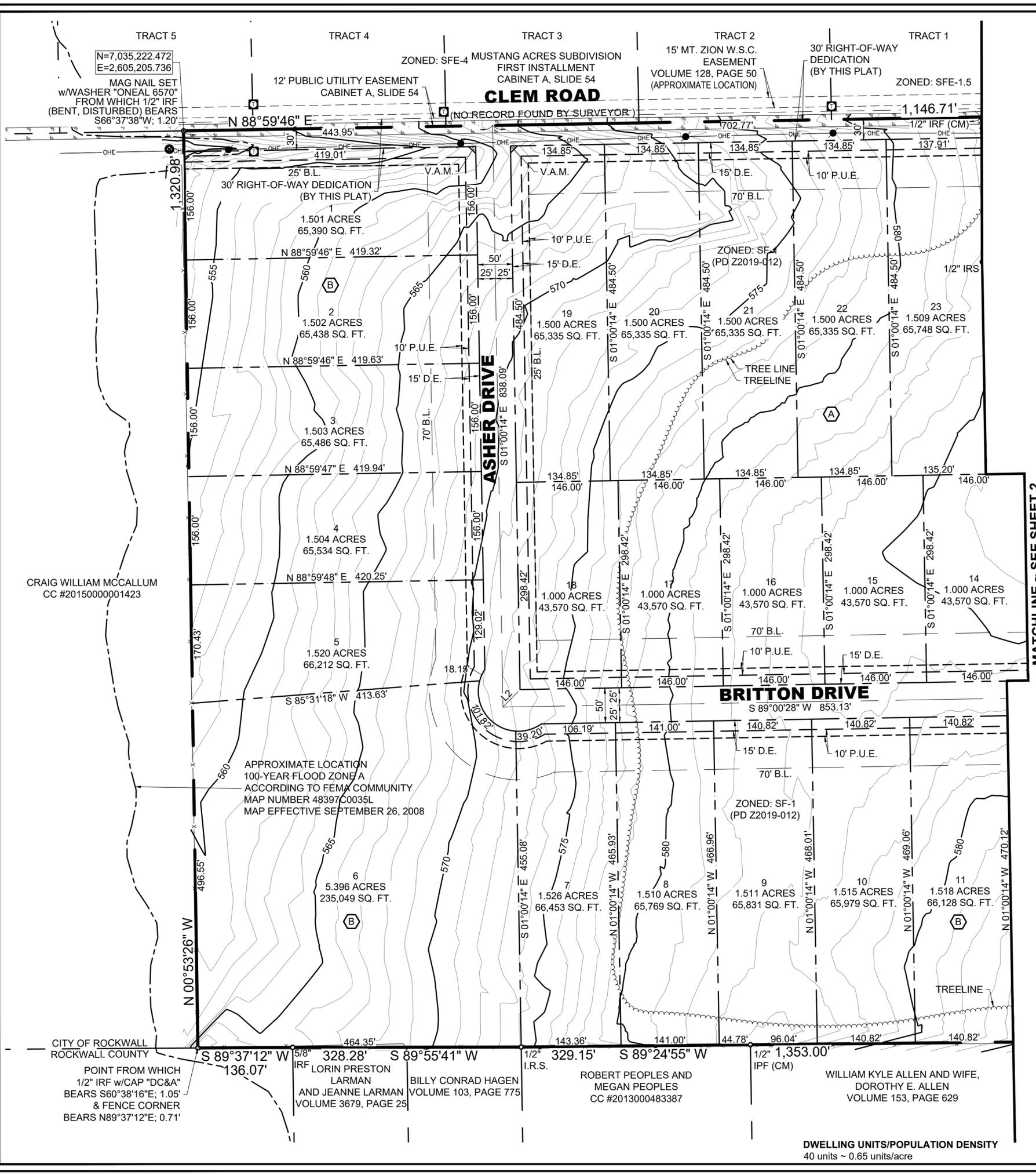


## City of Rockwall

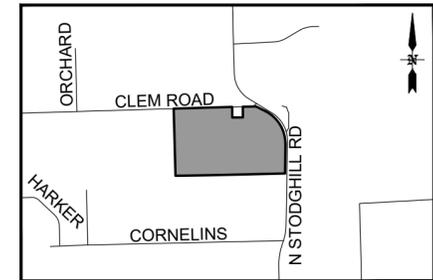
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





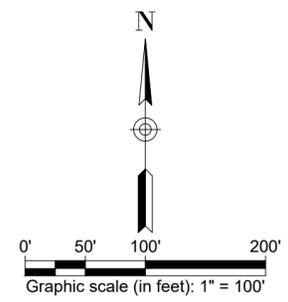
**KEY MAP**  
Scale: 1" = 1,000'



**VICINITY MAP**  
NOT TO SCALE

**ABBREVIATION LEGEND**

ABBR.	DEFINITION
IRS	Iron rod set
IRF	Iron rod found
IPF	Iron pipe found
PKF	PK nail found
CMON	Concrete monument found
CM	Controlling monument
O.P.R.R.C.T.	Official Public Records, Rockwall County, Texas
B.L.	Building line
P.U.E.	Public utility easement
D.E.	Drainage easement
C.A.	Common Area
V.A.M.	10'x10' Visibility, access & maintenance easement
◊	Indicates street name change



**NOTE:**

- It shall be the policy of the City of Rockwall to withhold issuing of building permits until all streets, water, sewer, and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance, or guarantee that any building within such plat shall be approved, authorized, or permit thereof issued, as required under Ordinance 83-54.

**MASTER PLAT  
NORTHGATE**

LOTS 1-23, BLOCK A; LOTS 1-7, BLOCK B; 2 COMMON AREAS (LANDSCAPE BUFFERS) [42 LOTS]  
62.512 ACRES OUT OF THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CITY PROJECT NO. \_\_\_\_\_  
DATE OF PREPARATION: 7/1/19  
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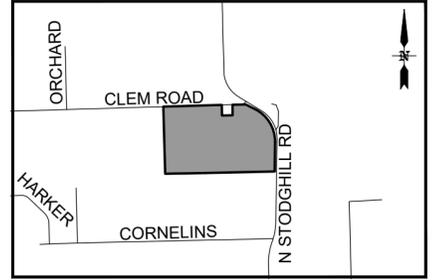
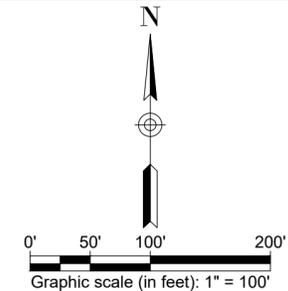
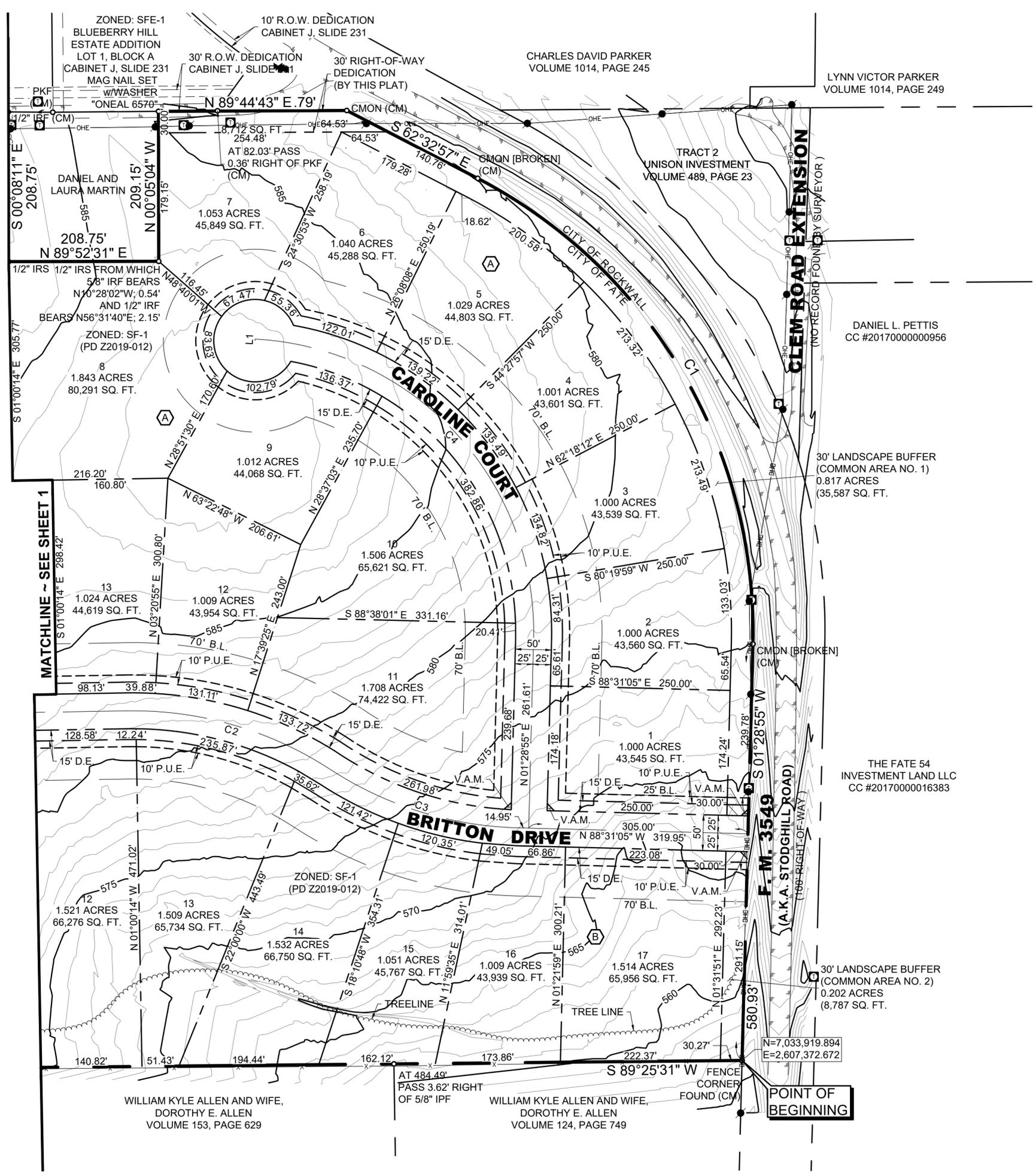
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**DWELLING UNITS/POPULATION DENSITY**  
40 units ~ 0.65 units/acre



**ABBREVIATION LEGEND**

ABBR.	DEFINITION
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IRF	Iron rod found
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O.P.R.C.T.	Official Public Records, Rockwall County, Texas
B.L.	Building line
P.U.E.	Public utility easement
D.E.	Drainage easement
C.A.	Common Area
V.A.M.	10'x10' Visibility, access & maintenance easement
	Indicates street name change

**NOTE:**

- It shall be the policy of the City of Rockwall to withhold issuing of building permits until all streets, water, sewer, and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance, or guarantee that any building within such plat shall be approved, authorized, or permit thereof issued, as required under Ordinance 83-54.

**MASTER PLAT  
NORTHGATE**  
 LOTS 1-23, BLOCK A; LOTS 1-7, BLOCK B; 2 COMMON AREAS (LANDSCAPE BUFFERS) [42 LOTS]  
 62.512 ACRES OUT OF THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CITY PROJECT NO. \_\_\_\_\_  
 DATE OF PREPARATION: 7/1/19  
 DATE OF LAST REVISION: 7/10/19

**OWNER**  
 Unison Investment  
 23545 Crenshaw Blvd., Suite 201  
 Torrance, CA 90505

**DEVELOPER**  
 Northgate Rockwall LD, LLC  
 1189 Waters Edge Drive  
 Rockwall, TX 75087

**LAND SURVEYOR**  
 O'Neal Surveying Co.  
 3111 Cole Avenue, Suite 101  
 Dallas, Texas 75204  
 (903) 804-2891  
 Firm No. 10194132

ENGINEERING / PROJECT MANAGEMENT /  
 CONSTRUCTION SERVICES - FIRM REG. #F-001145  
 201 WINDCO CIR, SUITE 200, WYLIE, TX 75098  
 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

**OWNER'S CERTIFICATION** [Public Dedication]

**STATE OF TEXAS** §  
**COUNTY OF ROCKWALL** §

WHEREAS Unison Investment, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

**BEING** 62.517 ACRES OF LAND LOCATED IN THE WILLIAM DALTON SURVEY, ABSTRACT NUMBER 72, ELLIS COUNTY, TEXAS, BEING ALL OF THAT CERTAIN CALLED 61.455 ACRE TRACT AS DESCRIBED TO UNISON INVESTMENT BY DEED RECORDED IN VOLUME 489, PAGE 23, DEED RECORDS, ROCKWALL COUNTY, TEXAS (D.R.R.C.T.) AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**BEGINNING** AT A FENCE CORNER FOUND IN THE WEST LINE OF FARM-TO-MARKET ROAD 3549 (100' RIGHT-OF-WAY) AT THE SOUTHEAST CORNER OF THE ABOVE-MENTIONED 61.455 ACRE TRACT;

**THENCE** SOUTH 89 DEGREES 25 MINUTES 31 SECONDS WEST, AT A DISTANCE OF 484.49 FEET PASS 3.62 FEET RIGHT OF A 5/8" IRON PIPE FOUND AND CONTINUING FOR A TOTAL DISTANCE OF 1353.00 FEET WITH THE SOUTH LINE OF SAID 61.455 ACRE TRACT TO A 1/2" IRON PIPE FOUND AT THE NORTHWEST CORNER OF THE WILLIAM KYLE ALLEN ET UX 12.888 ACRE TRACT AS DESCRIBED IN VOLUME 153, PAGE 629, (D.R.R.C.T.) AND THE NORTHEAST CORNER OF THE ROBERT PEOPLES AND MEGAN PEOPLES 10.00 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 2013000483387, (D.R.R.C.T.);

**THENCE** SOUTH 89 DEGREES 24 MINUTES 55 SECONDS WEST, A DISTANCE OF 329.15 FEET WITH THE SOUTH LINE OF SAID 61.455 ACRE TRACT TO A 1/2" IRON ROD WITH RED CAP STAMPED "ONEAL 6570" SET AT THE NORTHWEST CORNER OF THE ABOVE-MENTIONED 10.00 ACRE TRACT AND THE NORTHEAST CORNER OF THE BILLY CONRAD HAGEN 4.030 ACRE TRACT AS DESCRIBED IN VOLUME 103, PAGE 775, (D.R.R.C.T.);

**THENCE** SOUTH 89 DEGREES 55 MINUTES 41 SECONDS WEST, A DISTANCE OF 328.28 FEET WITH THE SOUTH LINE OF SAID 61.455 ACRE TRACT, SAME BEING THE COMMON NORTH LINE OF THE ABOVE-MENTIONED 4.030 ACRE TRACT AND THE LORIN PRESTON LARMAN AND JEANNE LARMAN 4.962 ACRE TRACT AS DESCRIBED IN VOLUME 3679, PAGE 25, (D.R.R.C.T.) TO A 5/8" IRON ROD FOUND AT THE NORTHWEST CORNER OF THE JUST MENTIONED 4.962 ACRE TRACT;

**THENCE** SOUTH 89 DEGREES 37 MINUTES 12 SECONDS WEST, A DISTANCE OF 136.07 FEET TO THE SOUTHWEST CORNER OF SAID 61.455 ACRE TRACT, SAME BEING THE COMMON SOUTHEAST CORNER OF THE CRAIG WILLIAM MCCALLUM 20.057 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 20150000001423, (D.R.R.C.T.), FROM WHICH A 1/2" IRON ROD WITH CAP STAMPED "DC&A" BEARS SOUTH 60 DEGREES 38 MINUTES 16 SECONDS EAST, A DISTANCE OF 1.05 FEET AND A FENCE CORNER BEARS NORTH 89 DEGREES 37 MINUTES 12 SECONDS EAST, A DISTANCE OF 0.71 FEET;

**THENCE** NORTH 00 DEGREES 53 MINUTES 26 SECONDS WEST, A DISTANCE OF 1320.98 FEET TO A MAG NAIL WITH WASHER STAMPED "ONEAL 6570" SET IN THE APPROXIMATE CENTERLINE OF CLEM ROAD (NO RECORD FOUND BY SURVEYOR) AT THE NORTHWEST CORNER OF SAID 61.455 ACRE TRACT AND THE NORTHEAST CORNER OF THE ABOVE-MENTIONED 20.057 ACRE TRACT;

**THENCE** NORTH 88 DEGREES 59 MINUTES 46 SECONDS EAST, A DISTANCE OF 1146.71 FEET WITH THE APPROXIMATE CENTERLINE OF CLEM ROAD AND THE NORTH LINE OF SAID 61.455 ACRE TRACT TO A 1/2" IRON ROD FOUND;

**THENCE** SOUTH 00 DEGREES 08 MINUTES 11 SECONDS EAST, A DISTANCE OF 208.75 FEET LEAVING CLEM ROAD TO A 1/2" IRON ROD WITH RED CAP STAMPED "ONEAL 6570" SET AT AN INTERIOR CORNER OF SAID 61.455 ACRE TRACT;

**THENCE** NORTH 89 DEGREES 52 MINUTES 31 SECONDS EAST, A DISTANCE OF 208.75 FEET TO A 1/2" IRON ROD WITH RED CAP STAMPED "ONEAL 6570" SET FOR AN INTERIOR CORNER OF SAID 61.455 ACRE TRACT;

**THENCE** NORTH 00 DEGREES 05 MINUTES 04 SECONDS WEST, A DISTANCE OF 209.15 FEET TO A MAG NAIL WITH WASHER STAMPED "ONEAL 6570" SET IN THE APPROXIMATE CENTERLINE OF CLEM ROAD AND AN EXTERIOR CORNER OF SAID 61.455 ACRE TRACT;

**THENCE** NORTH 89 DEGREES 44 MINUTES 43 SECONDS EAST, A DISTANCE OF 261.79 FEET WITH THE NORTH LINE OF SAID 61.455 ACRE TRACT TO A CONCRETE MONUMENT FOUND IN THE SOUTHWEST LINE OF FARM-TO-MARKET ROAD 3549;

**THENCE** SOUTH 62 DEGREES 32 MINUTES 57 SECONDS EAST, A DISTANCE OF 205.29 FEET WITH THE SOUTHWEST LINE OF FARM-TO-MARKET ROAD 3549 AND THE COMMON NORTHEAST LINE OF SAID 61.455 ACRE TRACT, TO A BROKEN CONCRETE MONUMENT FOUND AT THE BEGINNING OF A CURVE TO THE RIGHT HAVING A DELTA ANGLE OF 063 DEGREES 42 MINUTES 40 SECONDS, A RADIUS OF 713.94 FEET AND A LONG CHORD THAT BEARS SOUTH 30 DEGREES 30 MINUTES 10 SECONDS EAST FOR A DISTANCE OF 753.61 FEET;

**THENCE** SOUTHEASTERLY WITH SAID CURVE TO THE RIGHT AND THE SOUTHWEST LINE OF FARM-TO-MARKET ROAD 3549 AND THE COMMON NORTHEAST LINE OF SAID 61.455 ACRE TRACT, AN ARC LENGTH OF 793.88 FEET TO A BROKEN CONCRETE MONUMENT FOUND;

**THENCE** SOUTH 01 DEGREES 28 MINUTES 55 SECONDS WEST, WITH THE WEST LINE OF FARM-TO-MARKET ROAD 3549 AND THE COMMON EAST LINE OF SAID 61.455 ACRE TRACT, A DISTANCE OF 580.93 FEET TO THE **POINT OF BEGINNING** AND CONTAINING 62.517 ACRES OF LAND, MORE OR LESS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

**STATE OF TEXAS** §  
**COUNTY OF ROCKWALL** §

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the **NORTHGATE** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the **NORTHGATE** subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Mr. Jen-Liang Wu

**STATE OF TEXAS** §  
**COUNTY OF ROCKWALL** §

Before me, the undersigned authority, on this day personally appeared Mr. Jen-Liang Wu, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2019.

Notary Public in and for the State of Texas

My Commission Expires

[IF APPLICABLE:]

Signature of Party with Mortgage or Lien Interest

**STATE OF TEXAS** §  
**COUNTY OF ROCKWALL** §

Before me, the undersigned authority, on this day personally appeared [PROPERTY OWNER], known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2019.

Notary Public in and for the State of Texas

My Commission Expires

**SURVEYOR'S CERTIFICATE**

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Daniel Chase O'Neal, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

**PRELIMINARY ~ This document shall not be recorded for any purpose and shall not be used, reviewed, or relied upon as a final survey document.**

Daniel Chase O'Neal  
Texas Registered Professional Land Surveyor No. 6570

**OWNER**  
Unison Investment  
23545 Crenshaw Blvd., Suite 201  
Torrance, CA 90505

**DEVELOPER**  
Northgate Rockwall LD, LLC  
1189 Waters Edge Drive  
Rockwall, TX 75087

**LAND SURVEYOR**  
O'Neal Surveying Co.  
3111 Cole Avenue, Suite 101  
Dallas, Texas 75204  
(903) 804-2891  
Firm No. 10194132



ENGINEERING / PROJECT MANAGEMENT /  
CONSTRUCTION SERVICES - FIRM REG. #F-001145  
201 WINDCO CIR, SUITE 200, WYLIE, TX 75098  
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

STANDARD CITY SIGNATURE BLOCK

Planning & Zoning Commission, Chairman

Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2019.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2019.

Mayor, City of Rockwall

City Secretary

City Engineer

**City of Rockwall**  
**Project Plan Review History**

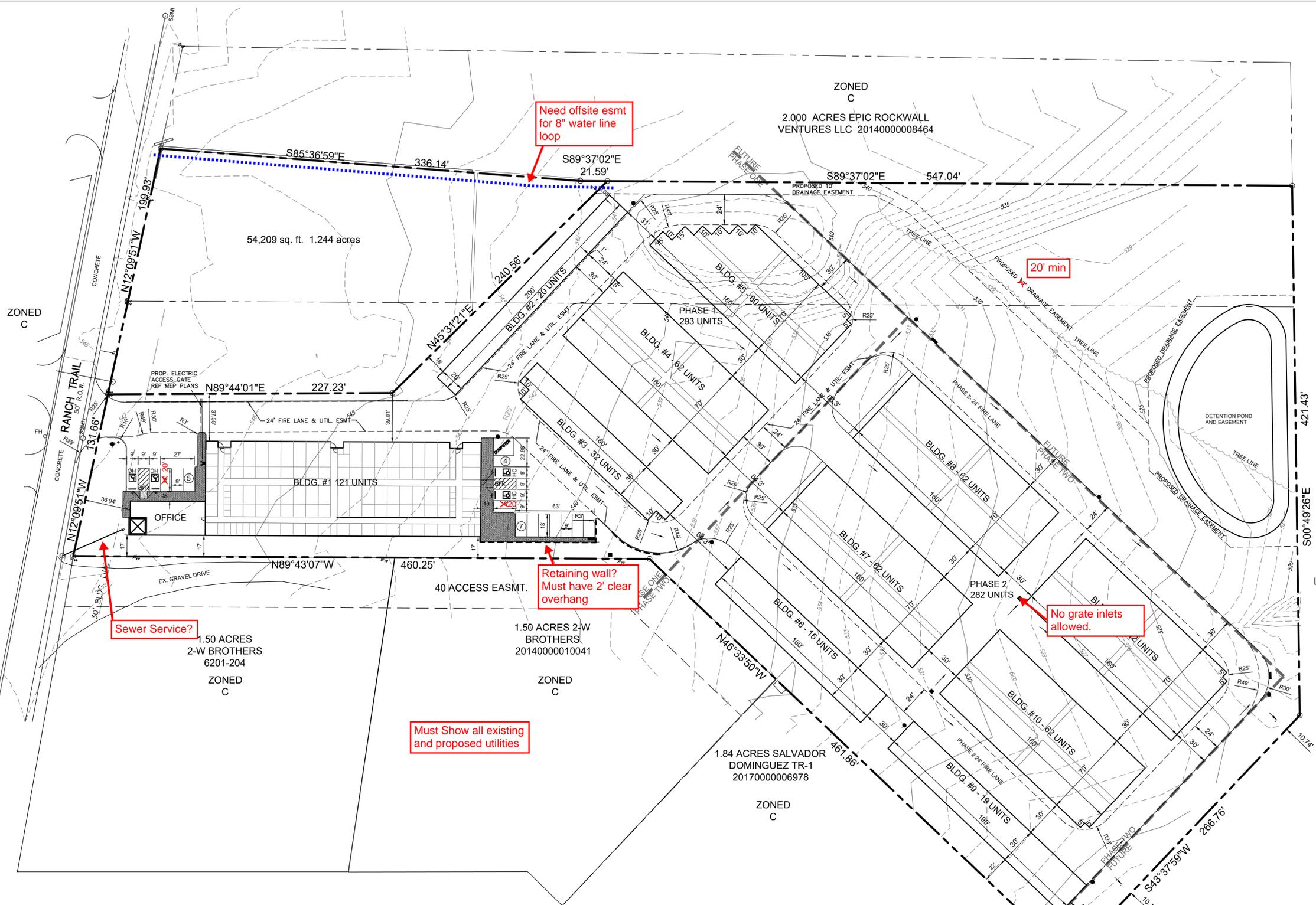
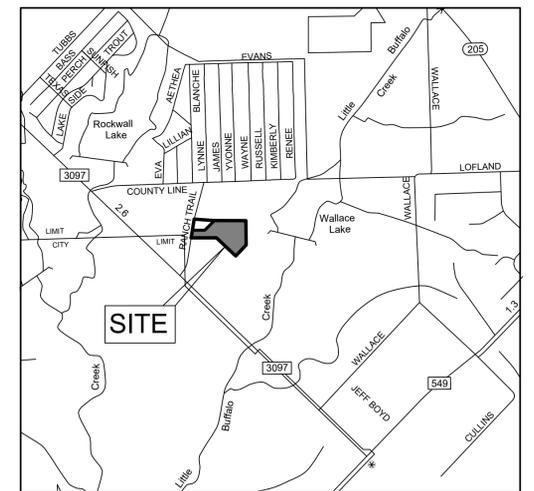
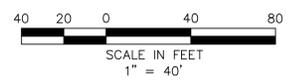


<b>Project Number</b> SP2019-027	<b>Owner</b> TRUMAN HEIGHTS LLC	<b>Applied</b> 7/12/2019	<b>LM</b>
<b>Project Name</b> 259 Ranch Trail	<b>Applicant</b> HORIZON RAOD SELF STORAGE LLC	<b>Approved</b>	
<b>Type</b> SITE PLAN		<b>Closed</b>	
<b>Subtype</b>		<b>Expired</b>	
<b>Status</b> Staff Review		<b>Status</b>	
 <b>Site Address</b> 231 RANCH TRAIL		<b>City, State Zip</b> ROCKWALL, TX 75032	
		<b>Zoning</b>	
<b>Subdivision</b> RAINBOW ACRES	<b>Tract</b> 22	<b>Block</b>	<b>Lot No</b> 22
			<b>Parcel No</b> 4720-0000-0022-00-0R
			<b>General Plan</b>

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/12/2019	7/19/2019				
ENGINEERING	Sarah Hager	7/12/2019	7/19/2019	7/25/2019	13	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(7/25/2019 11:32 AM SH) - No grate inlets allowed. - Must show existing and proposed utilities. - Where is the sewer service? - Parking spaces must have 2' clear overhang. - Must loop 8" water line and include an easement on it. - Trees are to be removed from the drainage system easement.							
The following items are for your information for engineering design. - 4% Engineering Inspection Fees - Impact Fees - Must meet City Standards. - Minimum easement width is 20' - Must have sheet flow conditions before crossing property lines or will need an easement. - Maximum 4:1 slope for grades - Must loop water - Must have detention. Manning's C-value is per zoning - Dumpster enclosure must drain to an oil/water separate and then to the storm lines. - Retaining walls 3' and over must be engineered. All retaining walls must be rock or stone face. No smooth concrete walls. - Will need to complete flood study. Review fees apply - Detention Must be over the existing 100-year water surface - Must have 2-Ft freeboard for detention - Must meet all standards of design and construction - Full panel concrete replacement on water ties in Ranch Trail - No grate inlets allowed. - WOUS/Wetland Determination							
FIRE	Ariana Hargrove	7/12/2019	7/19/2019	7/18/2019	6	COMMENTS	
(7/18/2019 4:28 PM AA) Presence of automatic fire sprinkler system shall be indicated on the plans. (Fire sprinkler protection required for all buildings except those that are less than 5,000 square feet and have no interior corridors.)							
The proposed location of the Fire Department Connections (FDCs) shall be indicated on the plans. The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant.							
GIS	Lance Singleton	7/12/2019	7/19/2019	7/16/2019	4	APPROVED	See comment
(7/16/2019 3:54 PM LS) Address will be: 231 RANCH TRAIL, ROCKWALL, TX 75032							
PLANNING	Korey Brooks	7/12/2019	7/19/2019	7/25/2019	13	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2019-027 Site Plan for Mini Warehouse Facility on Ranch Trail						
Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1 This a request by Russell Phillips of Horizon Road Self Storage, LLC for the approval of a site plan for a Mini-Warehouse facility on a 7.489-acre tract of land identified as Lot 23, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally situated north of Horizon Road and east of Ranch Trail Road.						
I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (SP2019-027) in the lower right hand corner of all pages on future submittals.						
M.4 Please note, according to the specific use permit and approved concept elevations, the building containing the office is supposed to have 'masonry veneer' along the entire south façade.						
M.5 The maximum number of storage units provided shall not exceed 575 units for the facility.						
M.6 The residential unit as an accessory to the permitted use shall not exceed 1,600 square feet.						
M.7 The residential unit may exceed one story, but shall not be greater than 36 feet in height.						
M.8 No outside storage of any kind shall be allowed (including the outside storage of boats, recreational vehicles, trailers, and motor or self-propelled vehicles).						
M.9 Businesses shall not be allowed to operate within individual storage units.						
M.10 The commercial operation of rental trucks and trailers shall be prohibited.						
M.11 The developer shall maintain the treeline at the south, east, and north property lines.						
M.12 Please note, according to the approved SUP, any perimeter building with facades that are visible from the street shall be 100% masonry						
M.13 Please provide scale and vicinity map on all pages.						
M.14 Please provide site data table on all sheets.						
M.15 Please note, the plant legend for the siteplan does not line up with the Common Name rows.						
M.16 Please show front setback and landscape buffer on plans.						
M.17 The landscape plan shows an area where existing trees are to remain toward the southeast property line; however, the remaining callouts for existing trees do not show the trees.						
M.18 Please provide owner information and developer information on all sheets.						
M.19 Please show and label property line on photometric plan.						
M.20 Please provide cut sheets.						
M.21 It is difficult to see the locations of the fixtures on the photometric plan.						
M.22 Please provide tree mitigation table on the treescape plan (e.g. tree number, type, caliper inches, removed/saved, etc.).						
M.23 Please leave signage blank on the building elevations.						
M.24 Please note, as shown, a variance to vertical and horizontal articulation is required.						
M.25 Please indicate all facades that face the street.						
M.26 Please provide specs of materials (e.g. brick vs stone, type of awnings, etc.)						
I.27 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by August 6, 2019. The Planning and Zoning Worksession for this case is July 30, 2019. The Park Board Meeting for this case is August 6, 2019. The Planning and Zoning Meeting for this case is August 13, 2019.						



1.84 ACRES WALLACE LAND PARTNERS 2017/76

- LEGEND**
- 1/2" I.R.S. W/CAP: 1/2" IRON ROD SET WITH YELLOW CAP STAMPED "RPLS 3963"
  - I.R.F.: IRON ROD FOUND
  - GW: GUY WIRE
  - PP: POWER POLE
  - LP: LIGHT POLE
  - EM: ELECTRIC METER
  - ICV: IRRIGATION CONTROL VALVE
  - B: BOLLARD
  - WM: WATER METER
  - SSMH: SANITARY SEWER MANHOLE
  - TPED: TELEPHONE PEDESTAL
  - XFR: ELECTRIC TRANSFORMER
  - MB: MAILBOX
  - WV: WATER VALVE
  - EBX: ELECTRIC BOX
  - FOM: FIBER OPTIC CABLE MARKER
  - A/C: AIR CONDITIONER UNIT
  - ES: ELECTRIC SWITCH
  - HW: HEADWALL
  - TS: TRAFFIC SIGN
  - WF: WATER FAUCET
  - FH: FIRE HYDRANT
  - FOV: FIBER OPTIC VAULT
  - CMP: CORRUGATED METAL PIPE
  - PVC: POLYVINYL CHLORIDE PIPE
  - PCP: REINFORCED CONCRETE PIPE
  - P.R.R.C.T.: PLAT RECORDS ROCKWALL CO. TX.
  - D.R.R.C.T.: DEEDS RECORDS ROCKWALL CO. TX.
  - : EDGE OF ASPHALT
  - x—: WIRE FENCE
  - E—: OVERHEAD ELECTRIC LINE
  - : PROPOSED FIRE HYDRANT
  - : CLEAN-OUT
  - C○: FIRE DEPARTMENT CONNECTION
  - : ABANDONED WATER/SEWER LINES REMOVE OVERHEAD DOWNGUY

- 4% Engineering Inspection Fees  
- Impact Fees  
- Must meet City Standards.  
- Minimum easement width is 20'  
- Must have sheet flow conditions before crossing property lines or will need an easement.  
- Maximum 4:1 slope for grades  
- Must loop water  
- Must have detention. Manning's C-value is per zoning  
- Dumpster enclosure must drain to an oil/water separate and then to the storm lines.  
- Retaining walls 3' and over must be engineered. All retaining walls must be rock or stone face. No smooth concrete walls.  
- Will need to complete flood study. Review fees apply  
- Detention must be over the existing 100-year water surface  
- Must have 2-Ft freeboard for detention  
- Must meet all standards of design and construction  
- Full panel concrete replacement on water ties in Ranch Trail  
- No grate inlets allowed.  
- WOUS/Wetland Determination

### SITE PLAN

## HORIZON ROAD SELF STORAGE

326,202 sf 7.489 Acres  
TRACT 23 OF RAINBOW ACRES  
WILLIAM W. FORD SURVEY, A-20  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Owner/Applicant:  
**ROCKWALL RETAIL INVESTORS, LLC**  
521 MORAIN WAY  
HEATH, TX 75032  
Telephone: 469.446.7734

Engineer  
**ENGINEERING CONCEPTS & DESIGN, L.P.**  
ENGINEERING / PROJECT MANAGEMENT /  
CONSTRUCTION SERVICES - FIRM REG. #F-001145  
201 WINDCO CIR, STE 200, WYLIE, TX 75098  
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

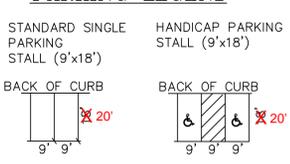
#### SITE INFORMATION

LOT COVERAGE (MAX 35.5%) = 102,845/326,202 = 31.5%  
IMPERVIOUS AREA (MAX 90%) = 205,190/326,202 = 62.9%  
FLOOR RATIO = 31.5%  
LANDSCAPE AREA = 121,012/326,202 = 37.1%  
HEIGHT OF PROP STRUCTURES:  
BLDG. OFFICE 1,620 SF - HT. 24'  
BLDG. 1 16,500 SF - HT. 11'-4.5"  
BLDG. 2 4,000 SF - HT. 10'  
BLDG. 3 4,600 SF - HT. 10'-3"  
BLDG. 4 11,200 SF - HT. 9'-6"  
BLDG. 5 9,650 SF - HT. 9'-10.5"  
BLDG. 6 4,800 SF - HT. 10'-3"  
BLDG. 7 11,200 SF - HT. 9'-6"  
BLDG. 8 11,200 SF - HT. 9'-6"  
BLDG. 9 5,700 SF - HT. 10'-3"  
BLDG. 10 11,200 SF - HT. 9'-6"  
BLDG. 11 11,200 SF - HT. 9'-6"

#### SITE SETBACK PER 'C' ZONING

FRONT: 30' BUILDING LINE SETBACK  
SIDE: 0' IF BUILDINGS ARE CONST WITH FIREWALLS  
REAR: 0' IF ABUTTING NON-RESIDENTIAL WITH FIREWALL  
NOTE: FIRE LANE PAVEMENT IS TO BE A MINIMUM OF 6" 3600 PSI CONCRETE  
6 SAC MIX FOR MACHINE PLACED  
6.5 SAC MIX FOR HAND PLACED

#### PARKING LEGEND

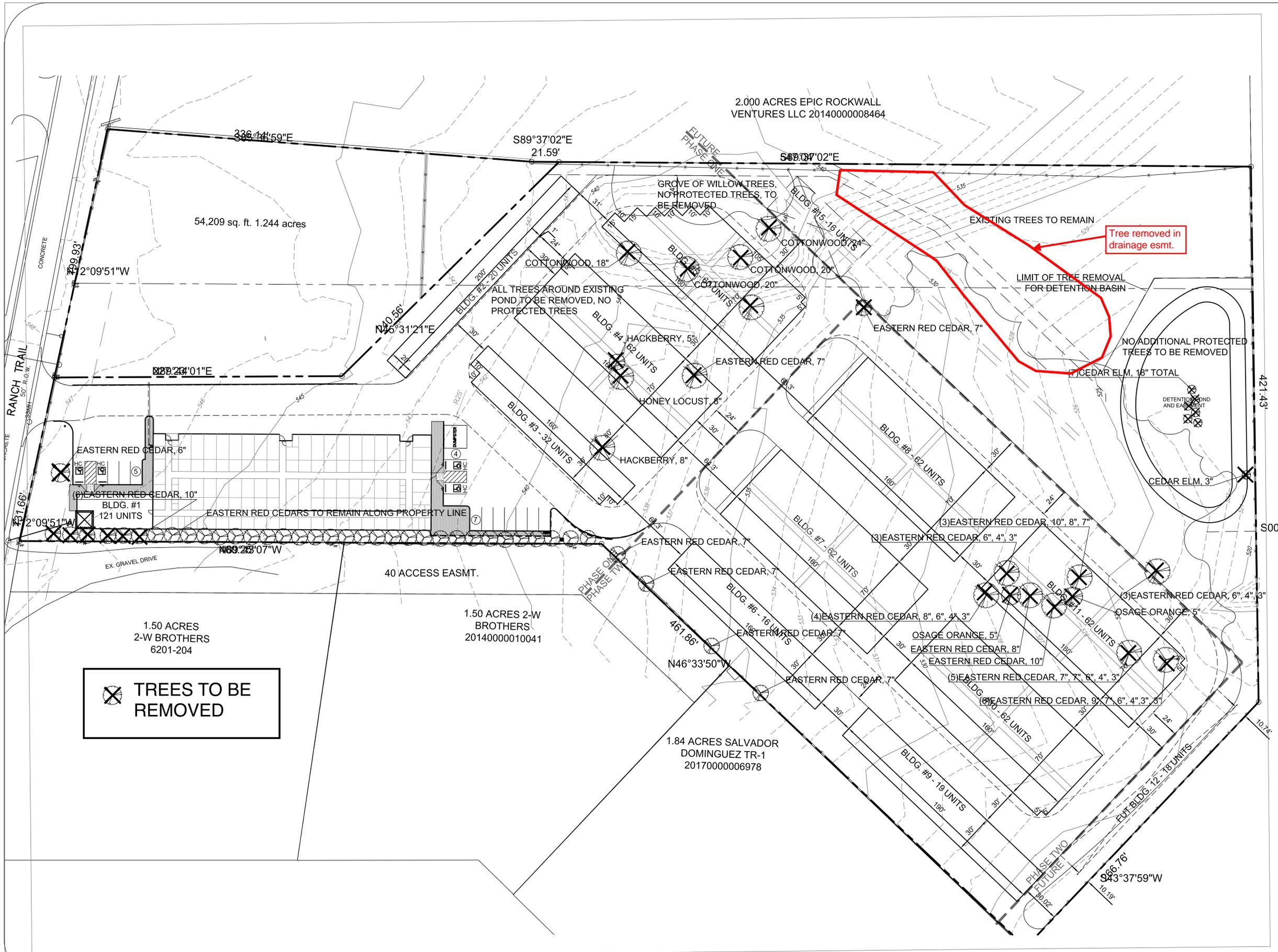


NOTE: FIRE LANE PAVEMENT IS TO BE A MINIMUM OF 6" 3600 PSI CONCRETE  
6 SAC MIX FOR MACHINE PLACED  
6.5 SAC MIX FOR HAND PLACED

#### PARKING CALCULATIONS:

NEW OFFICE BUILDING - 1,620 SF 1/300 = 6 PARKING SPACES REQUIRED
TOTAL PARKING SPACES REQUIRED - 6
TOTAL REGULAR PARKING SPACES - 12 REGULAR PARKING SPACES
TOTAL HANDICAP PARKING SPACES - 4 HANDICAP PARKING
TOTAL PARKING SPACES PROVIDED - 16 TOTAL PARKING

PROP USE OF STRUCTURES: MINI PUBLIC STORAGE WAREHOUSES



2.000 ACRES EPIC ROCKWALL  
VENTURES LLC 2014000008464

54,209 sq. ft. 1.244 acres

Tree removed in  
drainage esmt.

LIMIT OF TREE REMOVAL  
FOR DETENTION BASIN

NO ADDITIONAL PROTECTED  
TREES TO BE REMOVED

**X** TREES TO BE  
REMOVED

General Notes

# TREESCAPE PLAN

No.	Revision/Issue	Date

Firm Name and Address  
**ML Johnson & Associates**  
Wylie, Texas

Project Name and Address  
HORIZON ROAD SELF STORAGE  
ROCKWALL, TEXAS

Project	Sheet
Date 7/8/2019	1
Scale NOT TO SCALE	

0 65 130 260 390 520 Feet

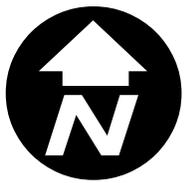
SP2019-027 - SUP FOR 259 RANCH TRAIL  
SITE PLAN - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

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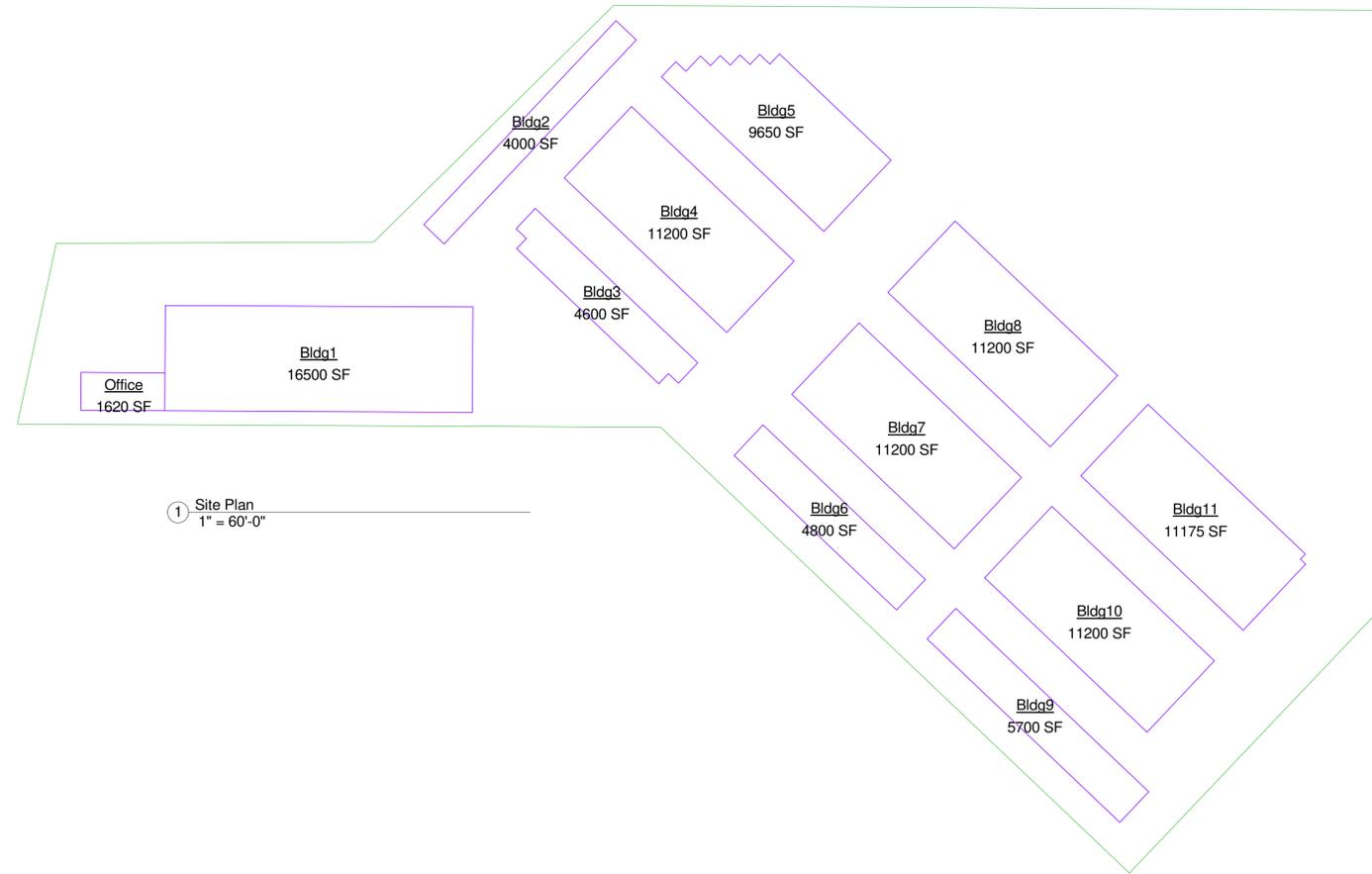
# Horizon Road Self Storage



3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

www.storagestructuresinc.com



① Site Plan  
1" = 60'-0"

TYPICAL STORAGE BUILDING STRUCTURE = 5'-0"x10'-0" LIGHT GAUGE FRAMING SYSTEM  
OFFICE AND TOWER STRUCTURE = STEEL COLUMN AND BEAM  
ROOF MATERIALS = 24ga STANDING SEEM ROOFING, GALVALUME



3807 Carrollton - Villa Rica Hwy  
Villa Rica, GA 30180  
770-456-1602

Unit Mix Schedule - Total			
Count	Name	Rent As	%
11	5x5	275	2%
17	5x10	850	3%
158	10x10	15800	27%
165	10x15	24750	29%
189	10x20	37800	33%
35	10x30	10500	6%
575		89975	100%

Area Schedule (Gross Building)		
Name	Area	Perimeter
Bldg1	16500 SF	590' - 0"
Bldg2	4000 SF	440' - 0"
Bldg3	4600 SF	380' - 0"
Bldg4	11200 SF	460' - 0"
Bldg5	9650 SF	460' - 0"
Bldg6	4800 SF	380' - 0"
Bldg7	11200 SF	460' - 0"
Bldg8	11200 SF	460' - 0"
Bldg9	5700 SF	440' - 0"
Bldg10	11200 SF	460' - 0"
Bldg11	11175 SF	460' - 0"
Office	1620 SF	174' - 0"
Grand total: 12	102845 SF	5164' - 0"

Drawing Schedule			
Sheet Number	Sheet Name	Sheet Issue Date	Revised Date
S001	Cover	04/09/19	06/26/19
S002	Unit Mix	04/09/19	06/25/19
S101	Building 1	06/19/19	06/25/19
S102	Building 2	06/19/19	06/25/19
S103	Building 3	06/19/19	06/25/19
S104	Building 4	06/19/19	06/25/19
S105	Building 5	06/19/19	06/25/19
S106	Building 6	06/19/19	06/25/19
S107	Building 7	06/19/19	06/26/19
S108	Building 8	06/19/19	06/26/19
S109	Building 9	06/19/19	06/26/19
S110	Building 10	06/19/19	06/26/19
S111	Building 11	06/19/19	06/26/19

Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued by

Horizon Road Self Storage  
Rockwall, TX

Engineer	Engineer Address
	PE No

SSI Project Number	Project Number
Date	6/26/2019 9:01:51 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S001  
Cover

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2.000 ACRES EPIC ROCKWALL  
VENTURES LLC 20140000008464

54,209 sq. ft. 1.244 acres

1.50 ACRES  
2-W BROTHERS  
6201-204

1.50 ACRES 2-W  
BROTHERS  
20140000010041

1.84 ACRES SALVADOR  
DOMINGUEZ TR-1  
20170000006978

EXISTING TREES TO REMAIN

EXISTING TREES TO REMAIN  
40 ACCESS EASMT.

EXISTING TREES TO REMAIN

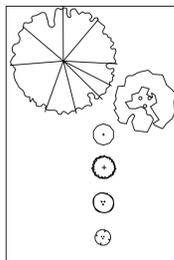
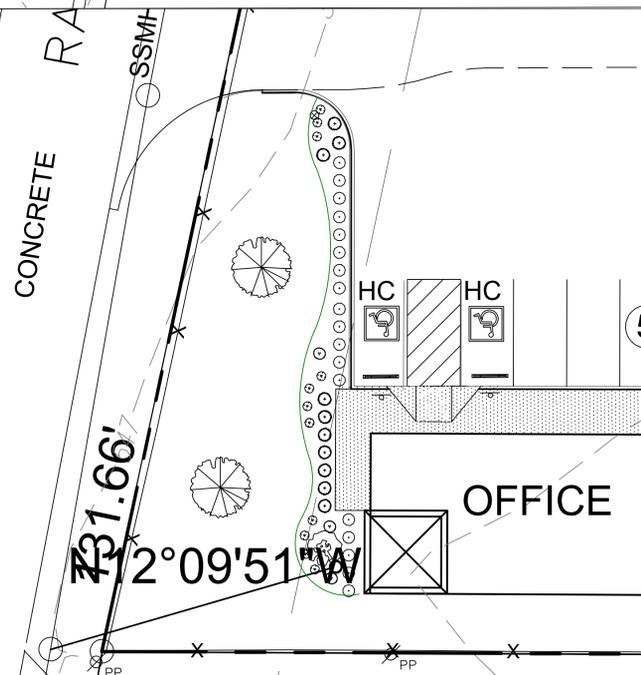
EXISTING TREES TO REMAIN

10.19'

943°37'59"W

421.43'

S00°4'



**Plant Legend**

Qty	Common Name	Size	Height	Spread	Spacing
2	Live Oak	4" Cal	12'	5'	NA
1	Crape Myrtle	30 Gal	6"	4"	NA
18	Dwarf Burford Holly	3 Gal	24"	18"	3' o.c.
10	Indian Hawthorn	3 Gal	15"	15"	3' o.c.
3	Loropetalum	3 Gal	15"	15"	NA
12	Nandina	3 Gal	15"	15"	3' o.c.
117649	Common Bermuda, sf	NA	NA	NA	NA

General Notes

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address

HORIZON ROAD SELF STORAGE  
ROCKWALL, TEXAS

Project

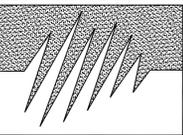
Date  
7/8/2019

Scale  
NOT TO SCALE

Sheet

1





ALPACA  
Energy Solutions, Inc.

3736 Bee Cave Road  
Suite 1, #126  
Austin, Tx 78746

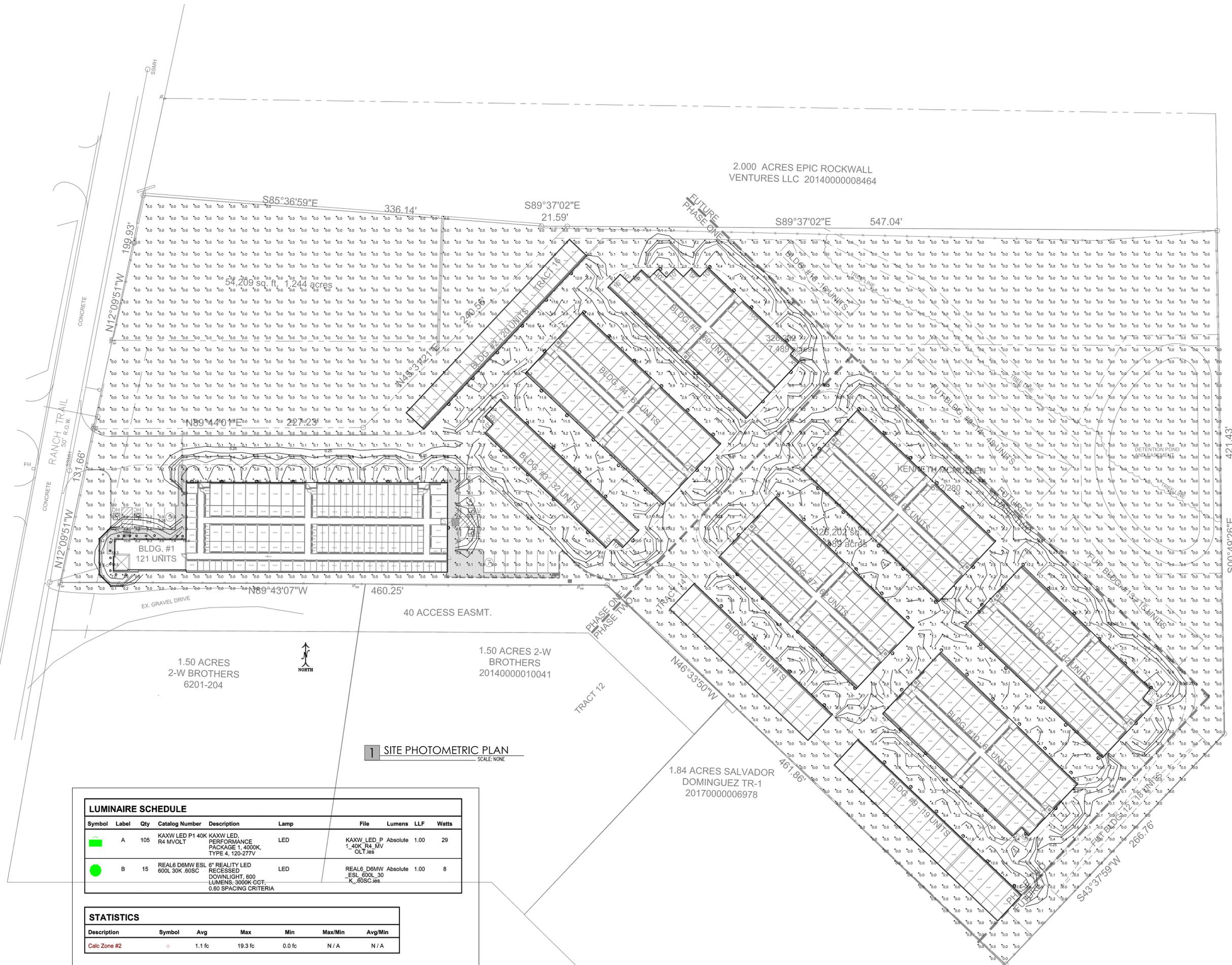
P: (512) 328-8999

www.alpacenergy.com  
MEP Engineering Services  
Business Reg. No. F-3616

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2.000 ACRES EPIC ROCKWALL  
VENTURES LLC 20140000008464



LUMINAIRE SCHEDULE						
Symbol	Label	Qty	Catalog Number	Description	Lamp	File Lumens LLF Watts
	A	105	KAXW LED P1 40K R4 MVOLT	KAXW LED, PERFORMANCE PACKAGE 1, 4000K, TYPE 4, 120-277V	LED	KAXW_LED_P1_40K_R4_MV_OLT.ies Absolute 1.00 29
	B	15	REAL6 D6MW ESL 600L 30K 60SC	6" REALITY LED RECESSED DOWNLIGHT, 600 LUMENS, 3000K CCT, 0.60 SPACING CRITERIA	LED	REAL6_D6MW_ESL_600L_30K_60SC.ies Absolute 1.00 8

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	1.1 fc	19.3 fc	0.0 fc	N/A	N/A

1 SITE PHOTOMETRIC PLAN  
SCALE: NONE

1.50 ACRES  
2-W BROTHERS  
6201-204

1.50 ACRES 2-W  
BROTHERS  
20140000010041

1.84 ACRES SALVADOR  
DOMINGUEZ TR-1  
20170000006978

1.84 ACR  
LAND PAR

Rockwall Self Storage  
Rockwall, Texas

SHEET TITLE:  
PHOTOMETRIC  
SITE PLAN  
REV. 1 7-2-19  
DATE: November 8, 2018

SHEET NUMBER:



3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

www.storagestructuresinc.com

Revision Schedule

Revision Number	Revision Date	Revision Description	Issued by

Horizon Road Self Storage

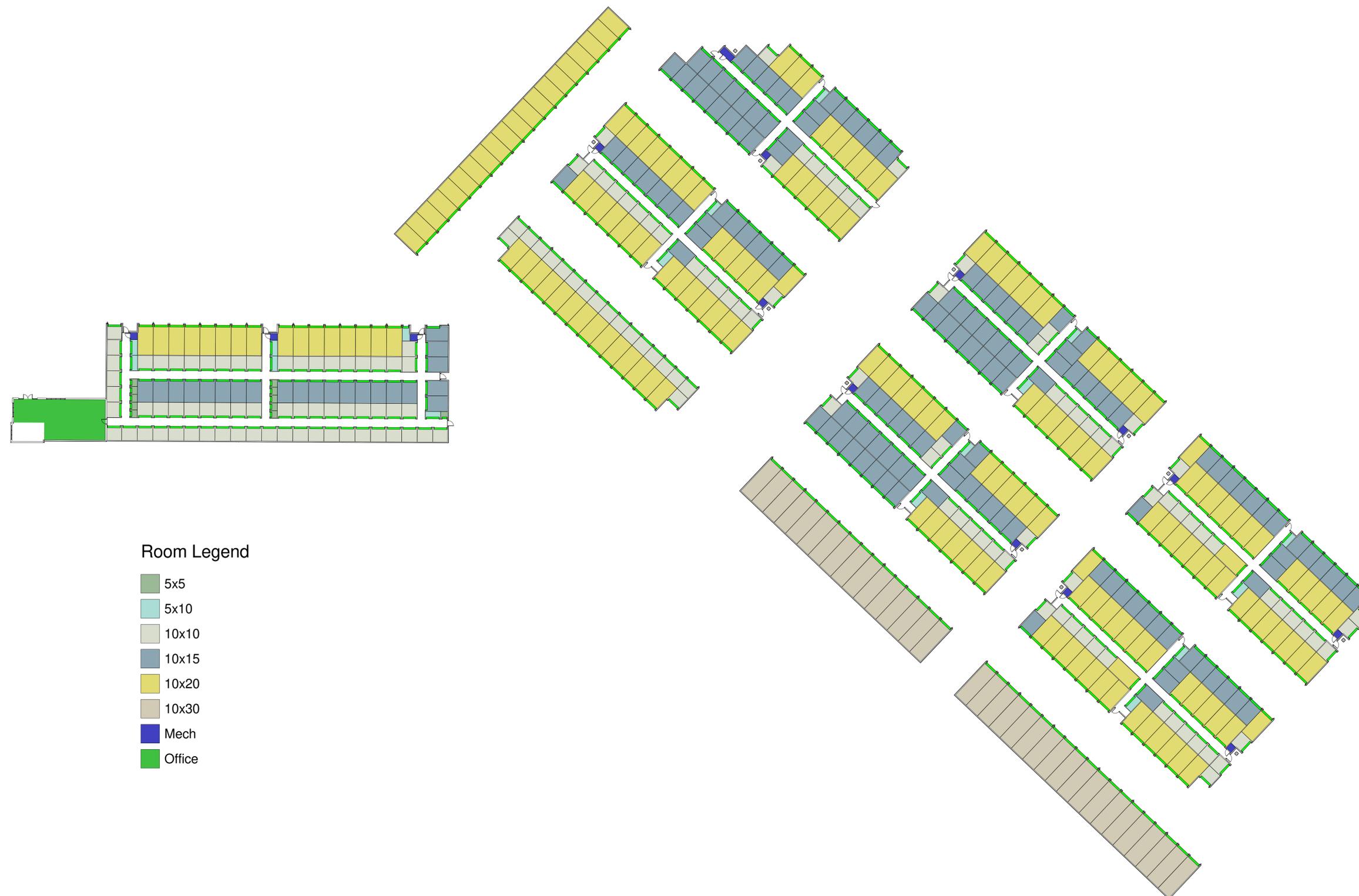
Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:01:54 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S002  
Unit Mix



Room Legend

- 5x5
- 5x10
- 10x10
- 10x15
- 10x20
- 10x30
- Mech
- Office

① Unit Mix Color Scheme  
1/32" = 1'-0"

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Revision Schedule

Revision Number	Revision Date	Revision Description	Issued by
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Horizon Road Self Storage

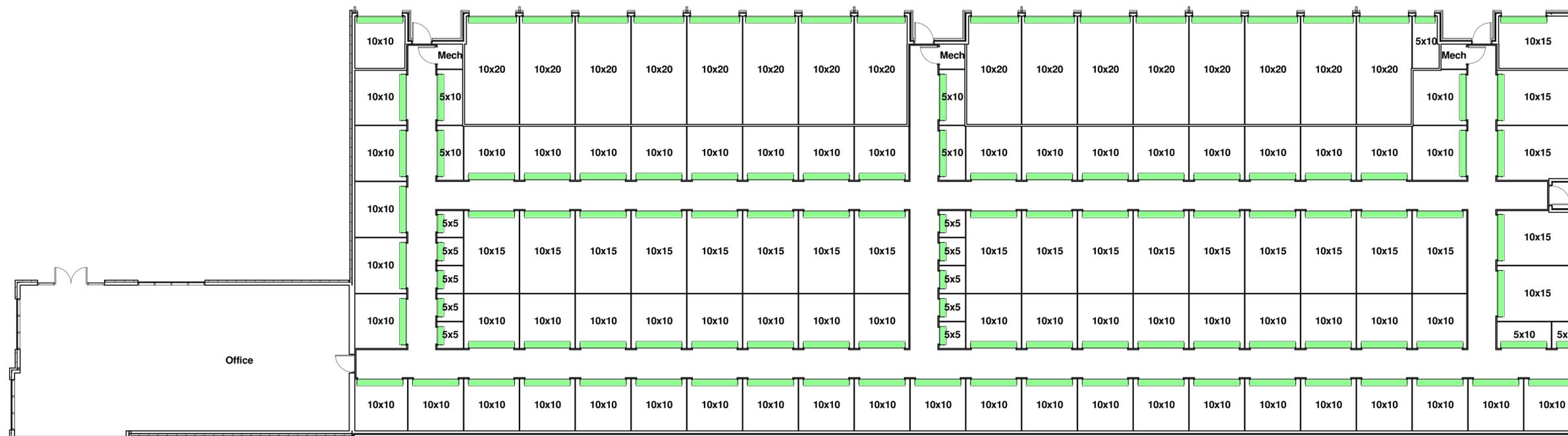
Rockwall, TX

Engineer

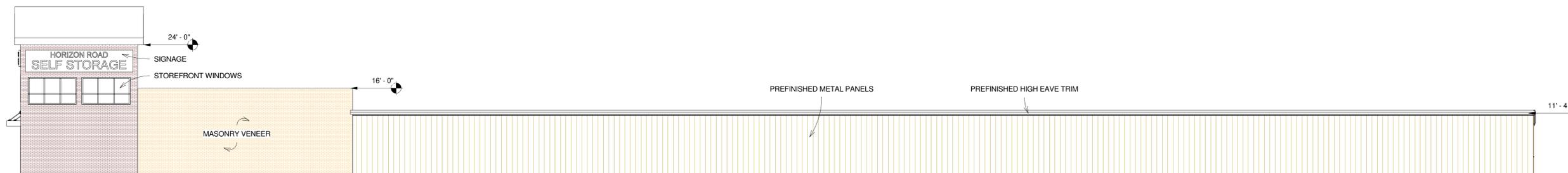
Engineer Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:01:55 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

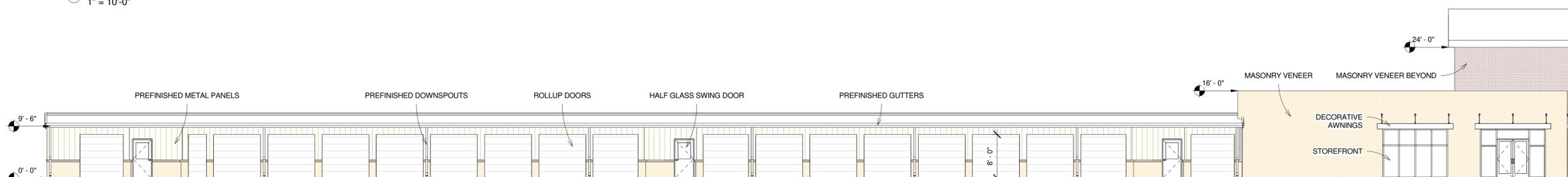
S101  
Building 1



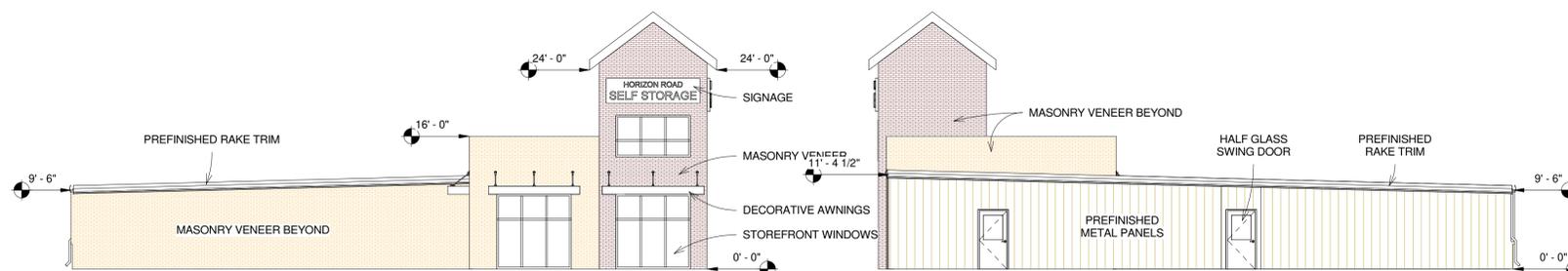
① Unit Mix - Bldg 1  
1" = 10'-0"



② Bldg 1 South Elevation  
1" = 10'-0"



③ Bldg 1 North Elevation  
1" = 10'-0"



④ Bldg 1 West Elevation  
1" = 10'-0"

⑤ Bldg 1 East Elevation  
1" = 10'-0"

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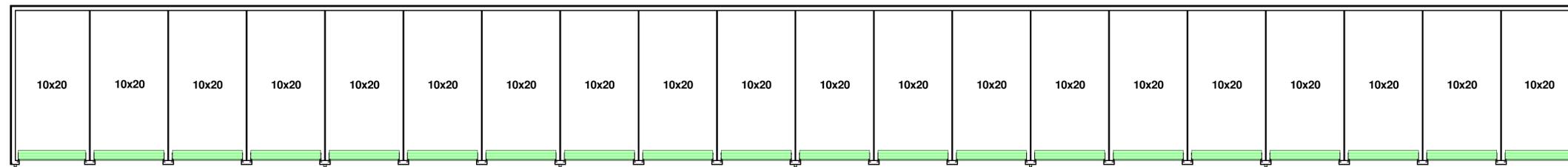
3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

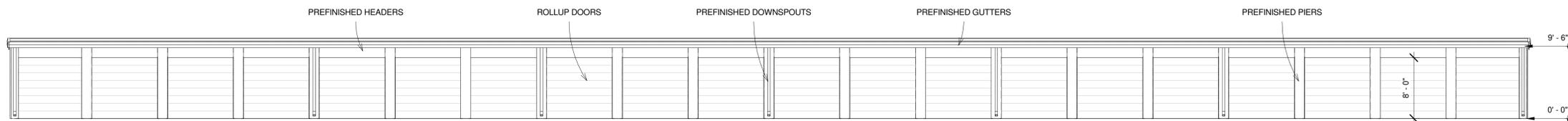
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Revision Schedule

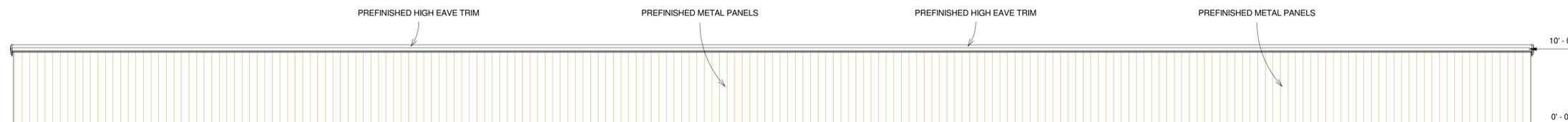
Revision Number	Revision Date	Revision Description	Issued by
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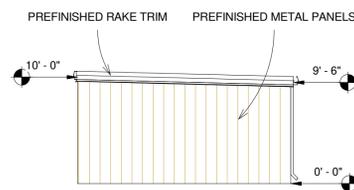
① Unit Mix - Bldg 2  
1/8" = 1'-0"



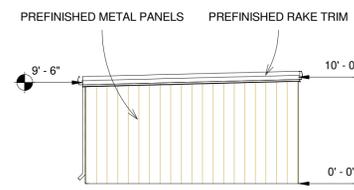
② Bldg 2 SE Elevation  
1/8" = 1'-0"



③ Bldg 2 NW Elevation  
1/8" = 1'-0"



④ Bldg 2 SW Elevation  
1/8" = 1'-0"



⑤ Bldg 2 NE Elevation  
1/8" = 1'-0"

Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:01:56 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S102  
Building 2

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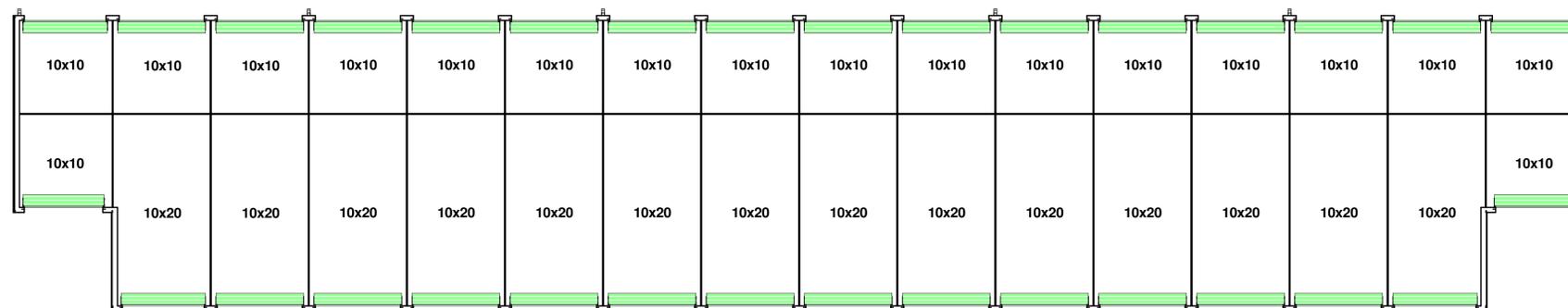
3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

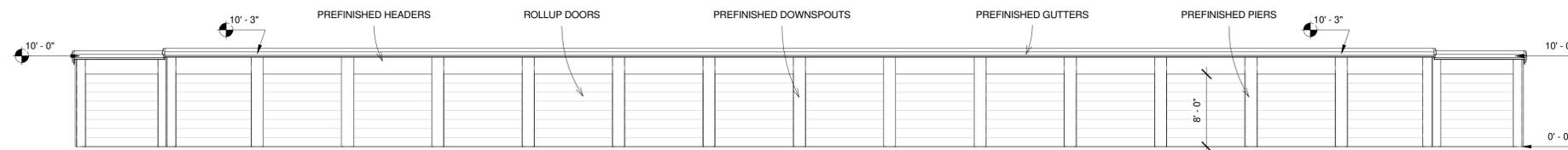
www.storagestructuresinc.com

Revision Schedule

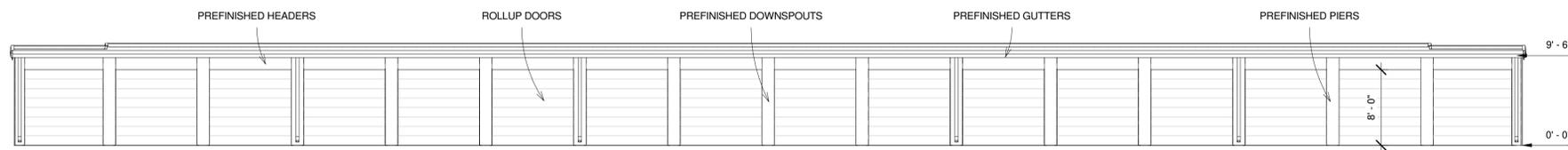
Revision Number	Revision Date	Revision Description	Issued by
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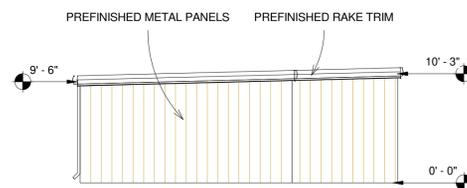
① Unit Mix - Bldg 3  
1/8" = 1'-0"



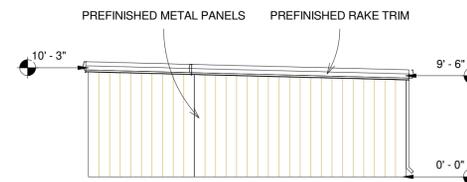
② Bldg 3 SW Elevation  
1/8" = 1'-0"



③ Bldg 3 NE Elevation  
1/8" = 1'-0"



④ Bldg 3 NW Elevation  
1/8" = 1'-0"



⑤ Bldg 3 SE Elevation  
1/8" = 1'-0"

Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:01:56 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S103  
Building 3

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Villa Rica, Ga 30180

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TOLL FREE: 877-456-1602  
FAX: 770-456-1662

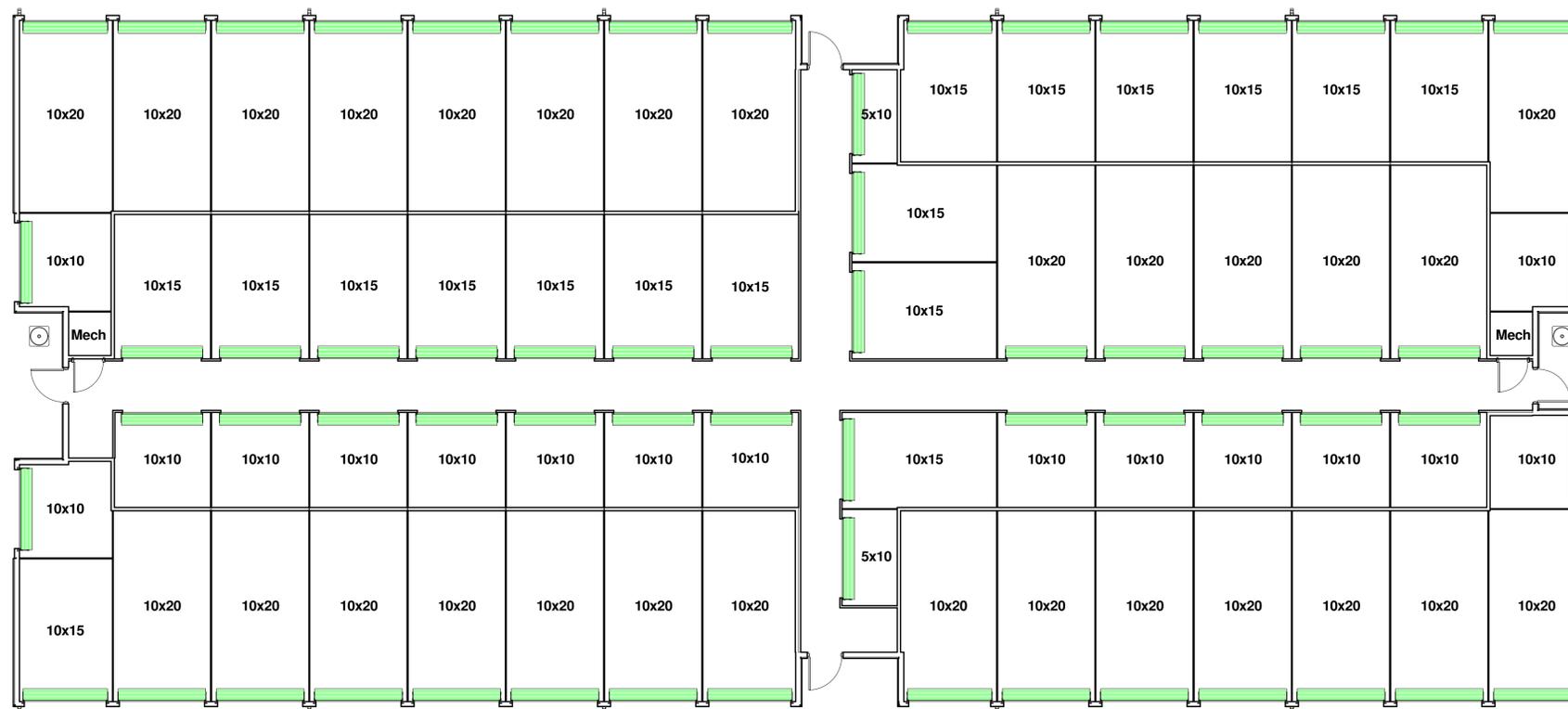
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Revision Schedule

Revision Number	Revision Date	Revision Description	Issued by
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Horizon Road Self Storage

Rockwall, TX



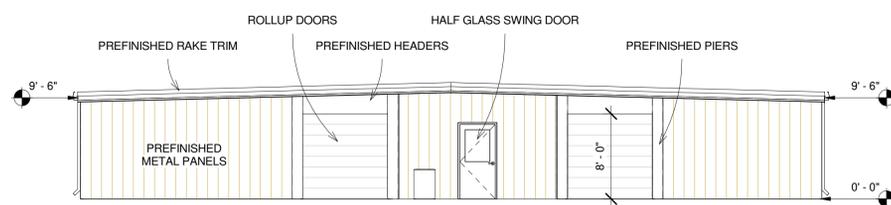
① Unit Mix - Bldg 4  
1/8" = 1'-0"



② Bldg 4 SW Elevation  
1/8" = 1'-0"



③ Bldg 4 NE Elevation  
1/8" = 1'-0"



④ Bldg 4 NW Elevation  
1/8" = 1'-0"



⑤ Bldg 4 SE Elevation  
1/8" = 1'-0"

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:01:57 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S104  
Building 4

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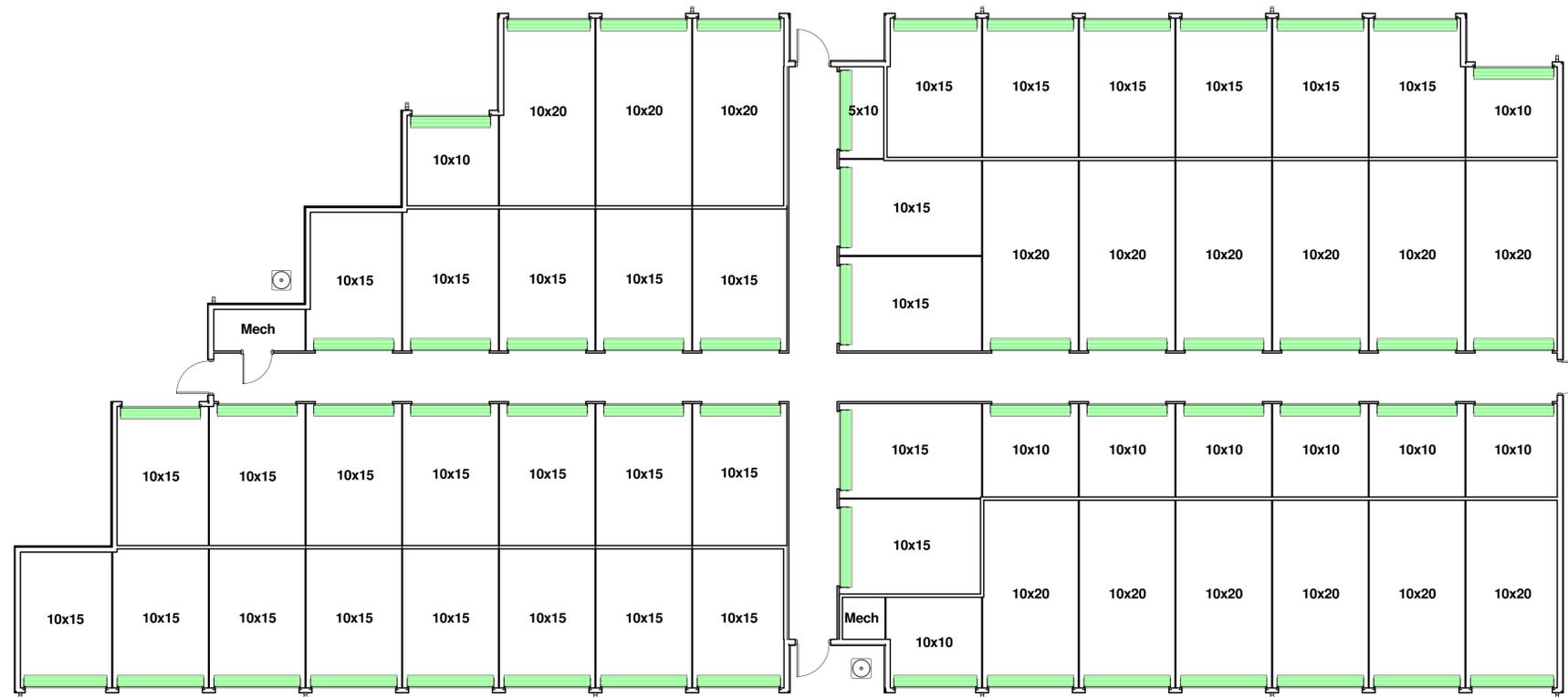
3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

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Revision Schedule

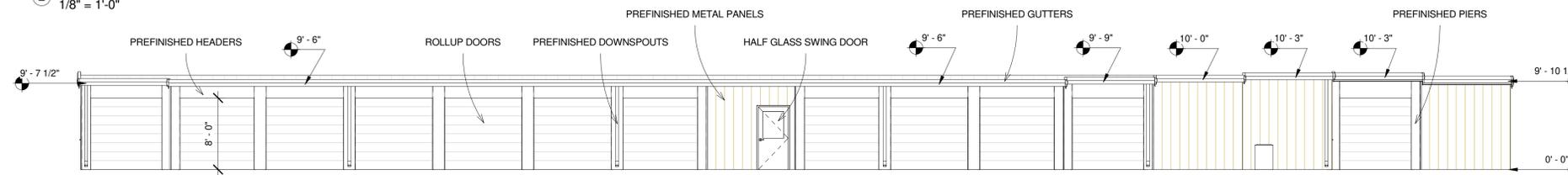
Revision Number	Revision Date	Revision Description	Issued by



① Unit Mix - Bldg 5  
1/8" = 1'-0"



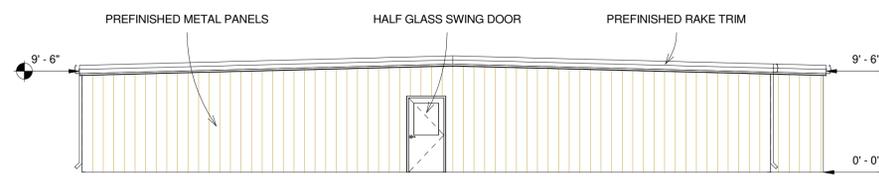
② Bldg 5 SW Elevation  
1/8" = 1'-0"



③ Bldg 5 NE Elevation  
1/8" = 1'-0"



④ Bldg 5 NW Elevation  
1/8" = 1'-0"



⑤ Bldg 5 SE Elevation  
1/8" = 1'-0"

Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:01:58 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S105  
Building 5

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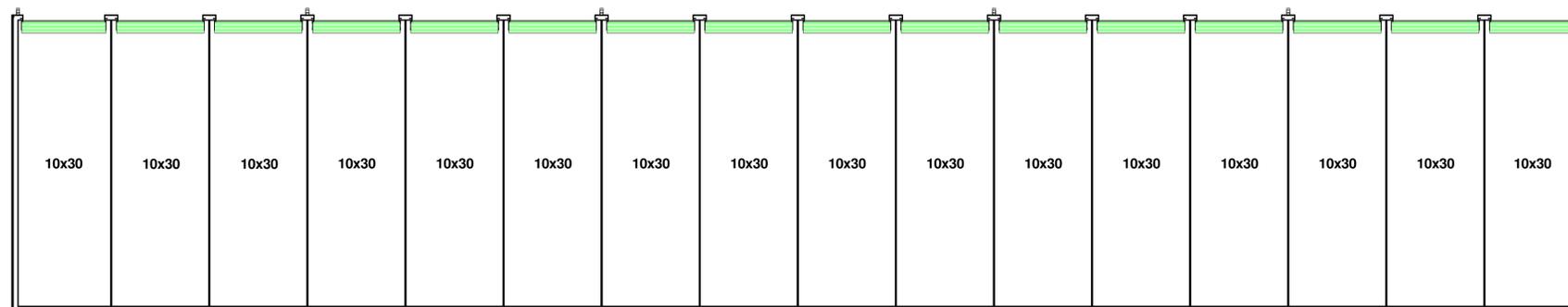
3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

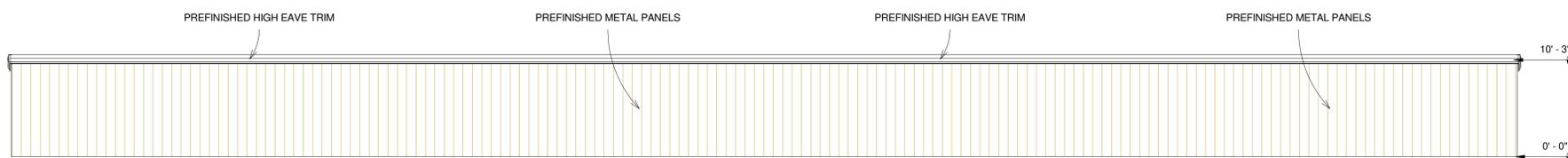
www.storagestructuresinc.com

Revision Schedule

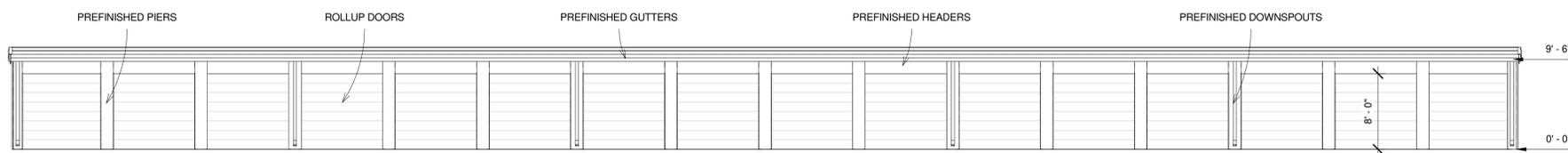
Revision Number	Revision Date	Revision Description	Issued by
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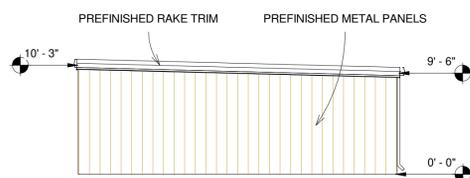
1 Unit Mix - Bldg 6  
1/8" = 1'-0"



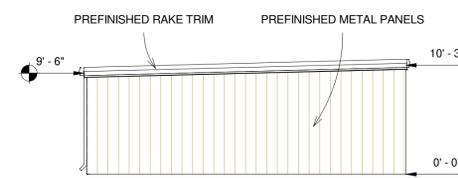
2 Bldg 6 SW Elevation  
1/8" = 1'-0"



3 Bldg 6 NE Elevation  
1/8" = 1'-0"



4 Bldg 6 SE Elevation  
1/8" = 1'-0"



5 Bldg 6 NW Elevation  
1/8" = 1'-0"

Horizon Road Self Storage

Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:01:58 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S106  
Building 6

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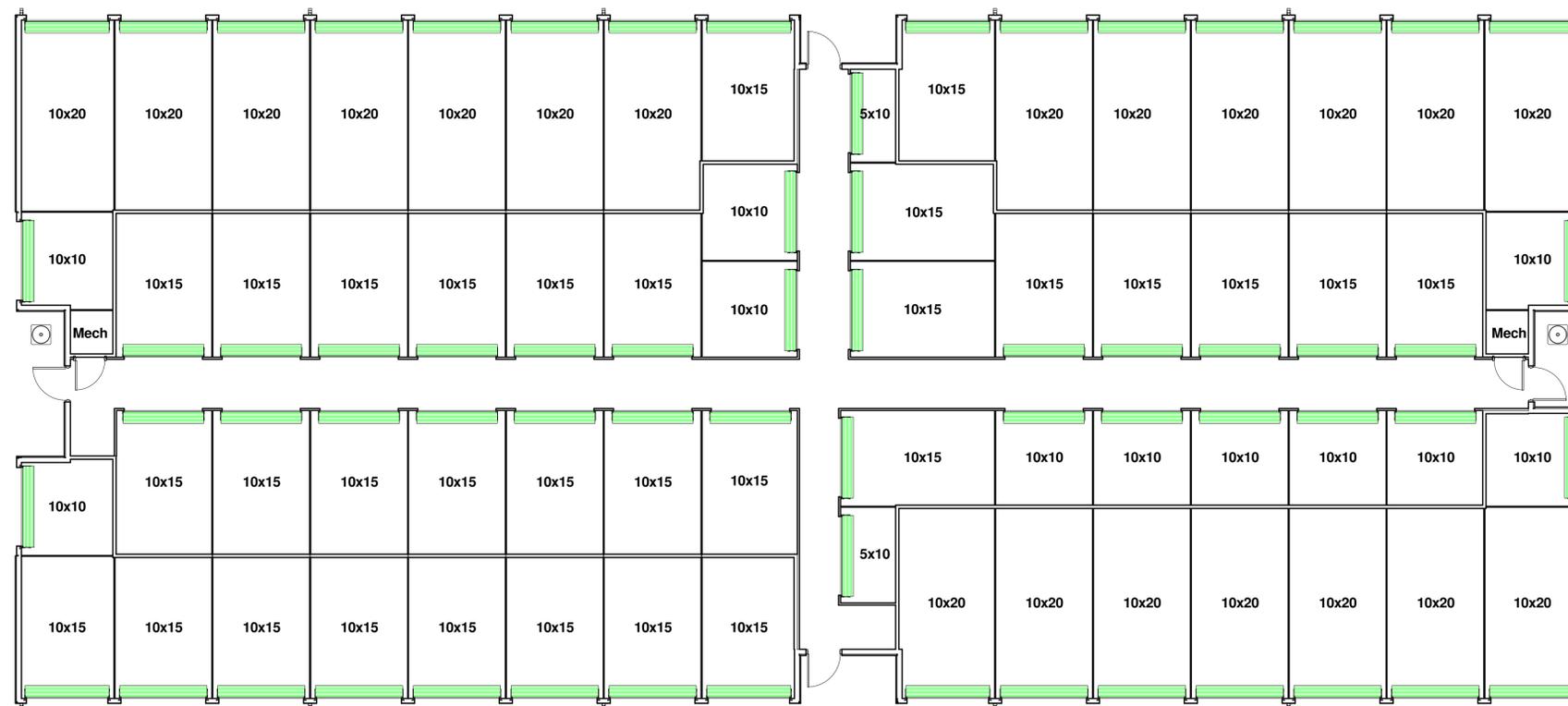
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Revision Schedule

Revision Number	Revision Date	Revision Description	Issued by
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Horizon Road Self Storage

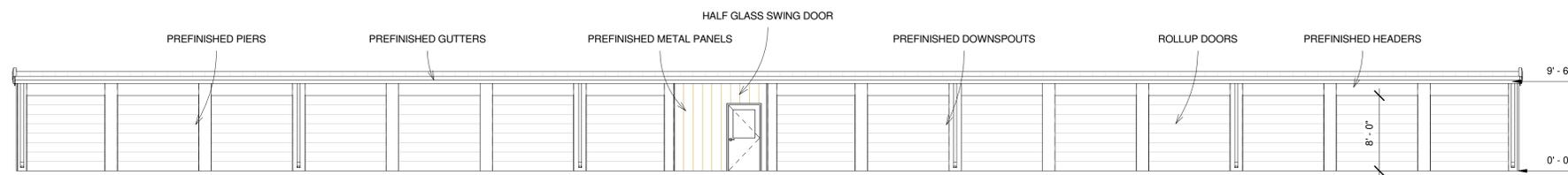
Rockwall, TX



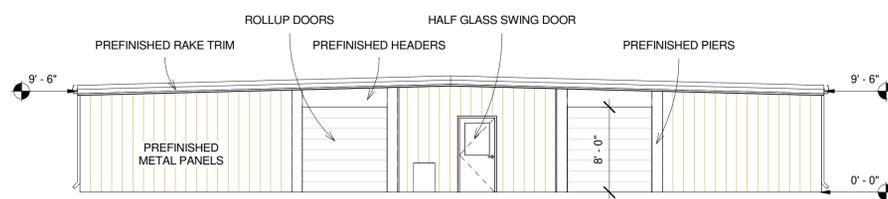
1 Unit Mix - Bldg 7  
1/8" = 1'-0"



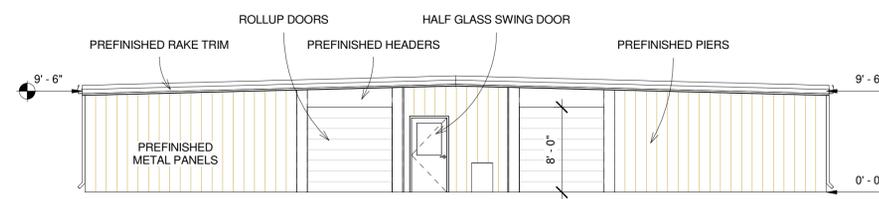
2 Bldg 7 SW Elevation  
1/8" = 1'-0"



3 Bldg 7 NE Elevation  
1/8" = 1'-0"



4 Bldg 7 NW Elevation  
1/8" = 1'-0"



5 Bldg 7 SE Elevation  
1/8" = 1'-0"

Engineer \_\_\_\_\_ Engineer Address \_\_\_\_\_ PE No \_\_\_\_\_

SSI Project Number \_\_\_\_\_ Project Number \_\_\_\_\_  
Date \_\_\_\_\_ 6/26/2019 9:01:59 AM  
Designed By \_\_\_\_\_ SSI  
Drawn By \_\_\_\_\_ AH  
Checked By \_\_\_\_\_ CC

S107  
Building 7

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Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

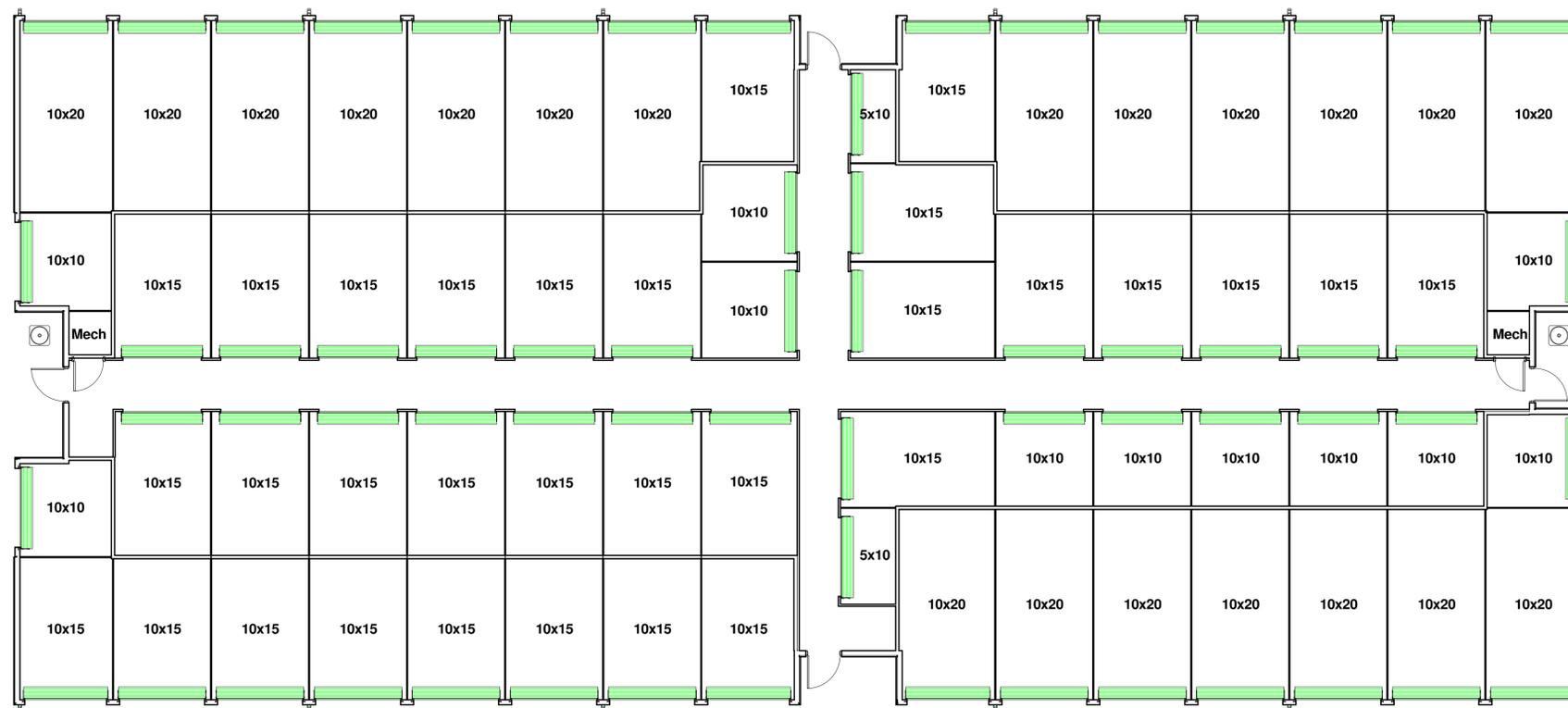
www.storagestructuresinc.com

Revision Schedule

Revision Number	Revision Date	Revision Description	Issued by
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Horizon Road Self Storage

Rockwall, TX



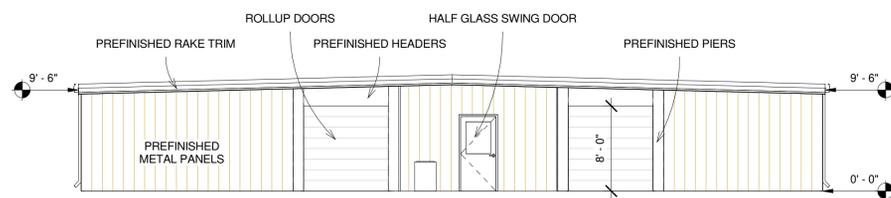
1 Unit Mix - Bldg 8  
1/8" = 1'-0"



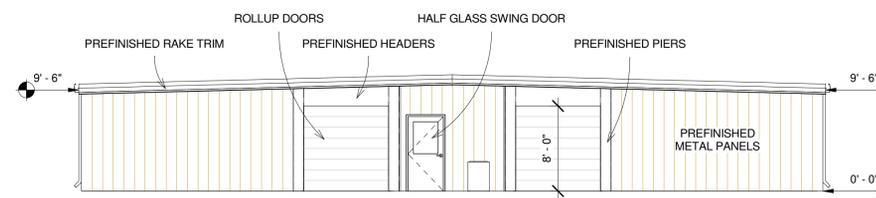
2 Bldg 8 SW Elevation  
1/8" = 1'-0"



3 Bldg 8 NE Elevation  
1/8" = 1'-0"



4 Bldg 8 NW Elevation  
1/8" = 1'-0"



5 Bldg 8 SE Elevation  
1/8" = 1'-0"

Engineer \_\_\_\_\_ Engineer Address \_\_\_\_\_  
PE No \_\_\_\_\_

SSI Project Number \_\_\_\_\_ Project Number \_\_\_\_\_  
Date 6/26/2019 9:02:00 AM  
Designed By SSI  
Drawn By AH  
Checked By CC

S108  
Building 8

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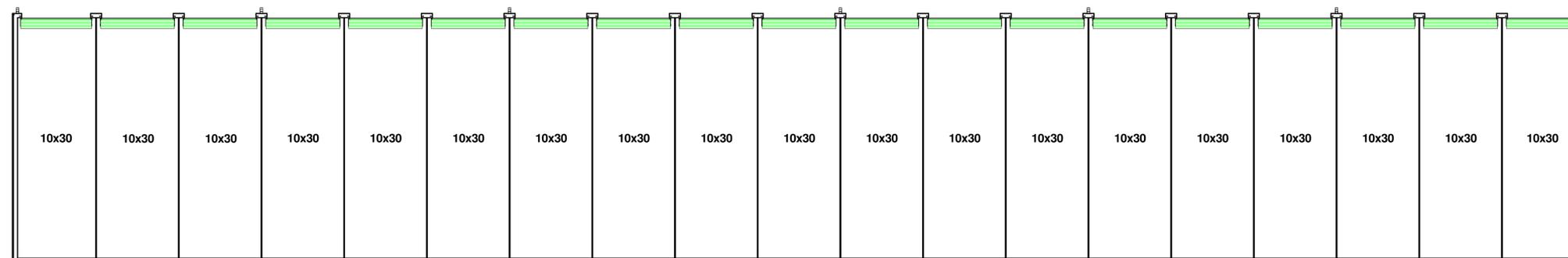
3807 Hwy 61  
Villa Rica, Ga 30180

PHONE: 770-456-1602  
TOLL FREE: 877-456-1602  
FAX: 770-456-1662

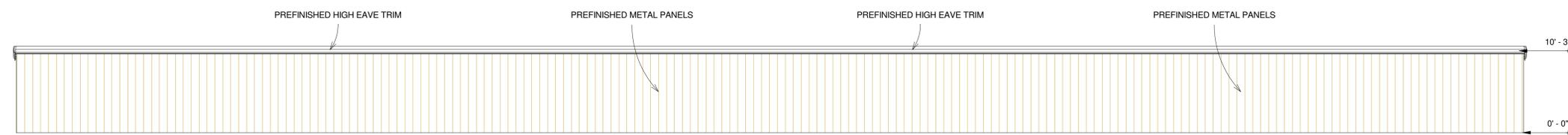
www.storagestructuresinc.com

Revision Schedule

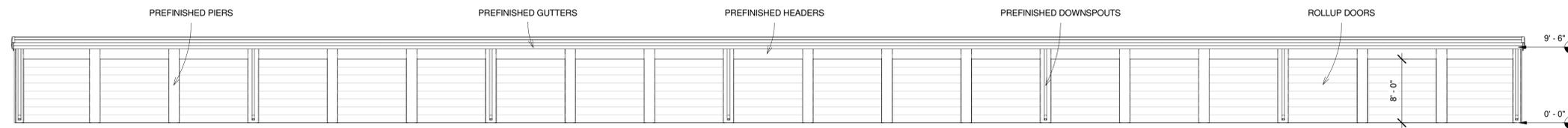
Revision Number	Revision Date	Revision Description	Issued by
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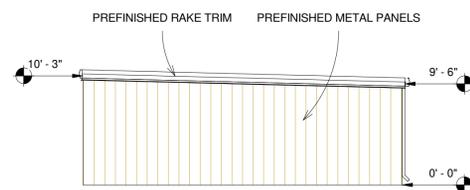
① Unit Mix - Bldg 9  
1/8" = 1'-0"



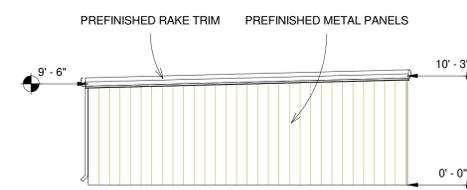
② Bldg 9 SW Elevation  
1/8" = 1'-0"



③ Bldg 9 NE Elevation  
1/8" = 1'-0"



④ Bldg 9 SE Elevation  
1/8" = 1'-0"



⑤ Bldg 9 NW Elevation  
1/8" = 1'-0"

Horizon Road Self Storage  
Rockwall, TX

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:02:00 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S109  
Building 9

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Villa Rica, Ga 30180

PHONE: 770-456-1602  
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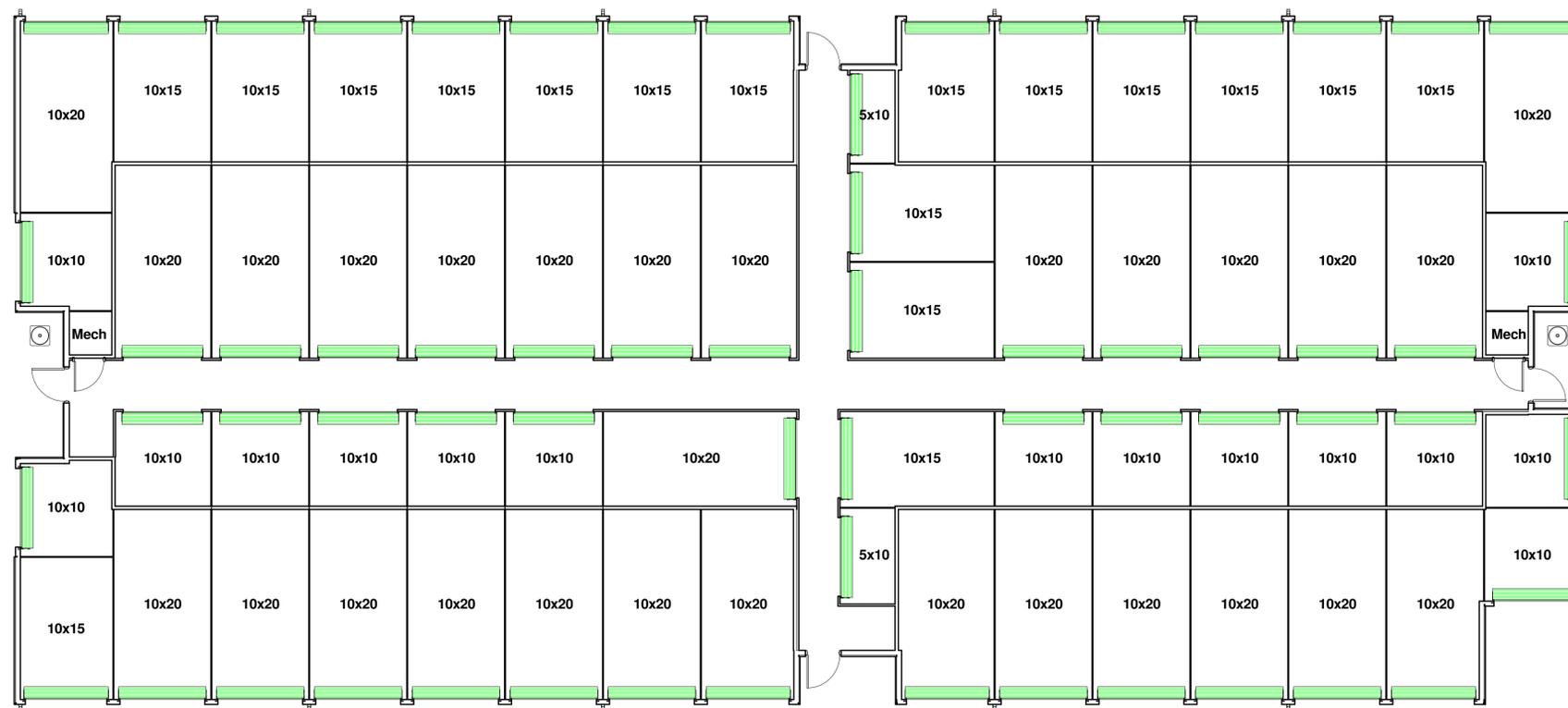
www.storagestructuresinc.com

Revision Schedule

Revision Number	Revision Date	Revision Description	Issued by
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Horizon Road Self Storage

Rockwall, TX



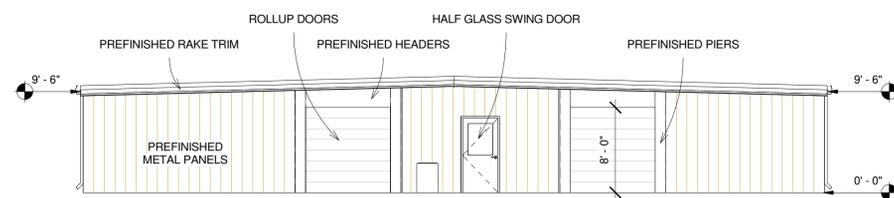
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1/8" = 1'-0"



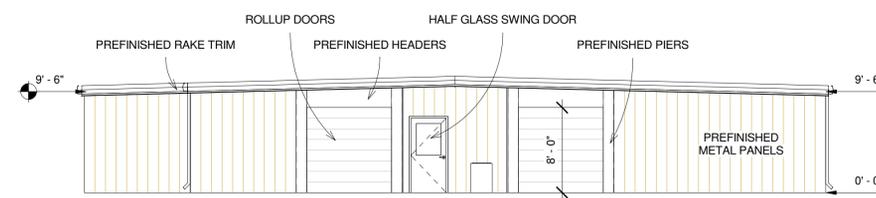
② Bldg 10 SW Elevation  
1/8" = 1'-0"



③ Bldg 10 NE Elevation  
1/8" = 1'-0"



④ Bldg 10 NW Elevation  
1/8" = 1'-0"



⑤ Bldg 10 SE Elevation  
1/8" = 1'-0"

Engineer

Engineer  
Address  
PE No

SSI Project Number	Project Number
Date	6/26/2019 9:02:01 AM
Designed By	SSI
Drawn By	AH
Checked By	CC

S110  
Building 10

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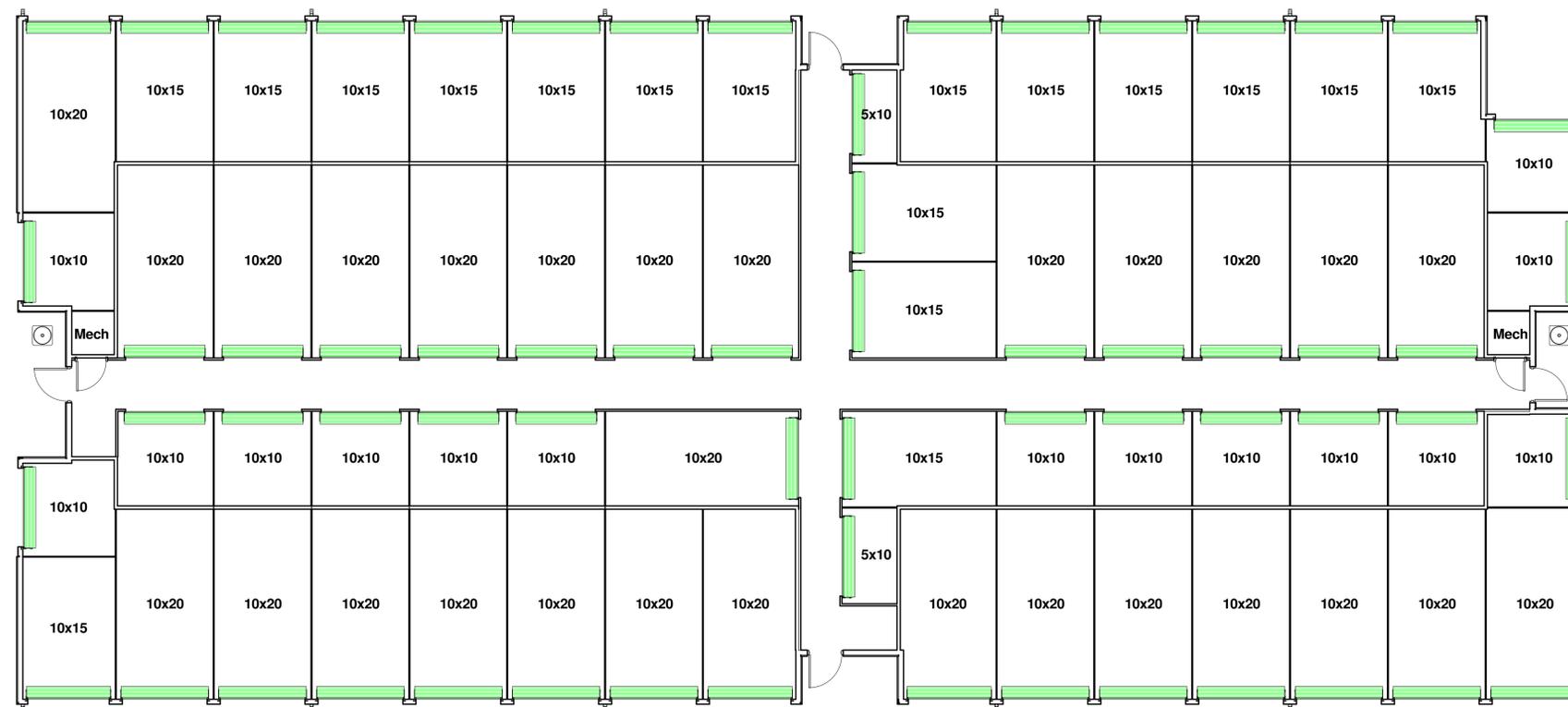
www.storagestructuresinc.com

Revision Schedule

Revision Number	Revision Date	Revision Description	Issued by
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Horizon Road Self Storage

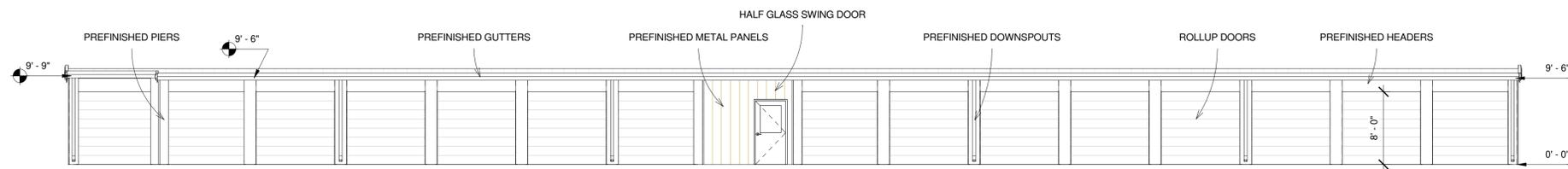
Rockwall, TX



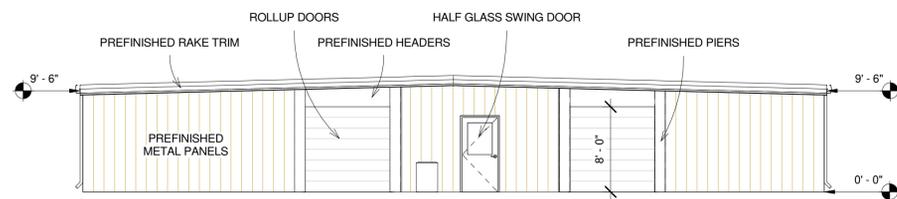
1 Unit Mix - Bldg 11  
1/8" = 1'-0"



2 Bldg 11 SW Elevation  
1/8" = 1'-0"



3 Bldg 11 NE Elevation  
1/8" = 1'-0"



4 Bldg 11 NW Elevation  
1/8" = 1'-0"



5 Bldg 11 SE Elevation  
1/8" = 1'-0"

Engineer  
Engineer Address  
PE No

SSI Project Number  
Date  
Designed By  
Drawn By  
Checked By  
Project Number  
6/26/2019 9:02:02 AM  
SSI  
AH  
CC

S111  
Building 11

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**City of Rockwall**  
**Project Plan Review History**



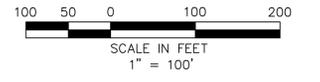
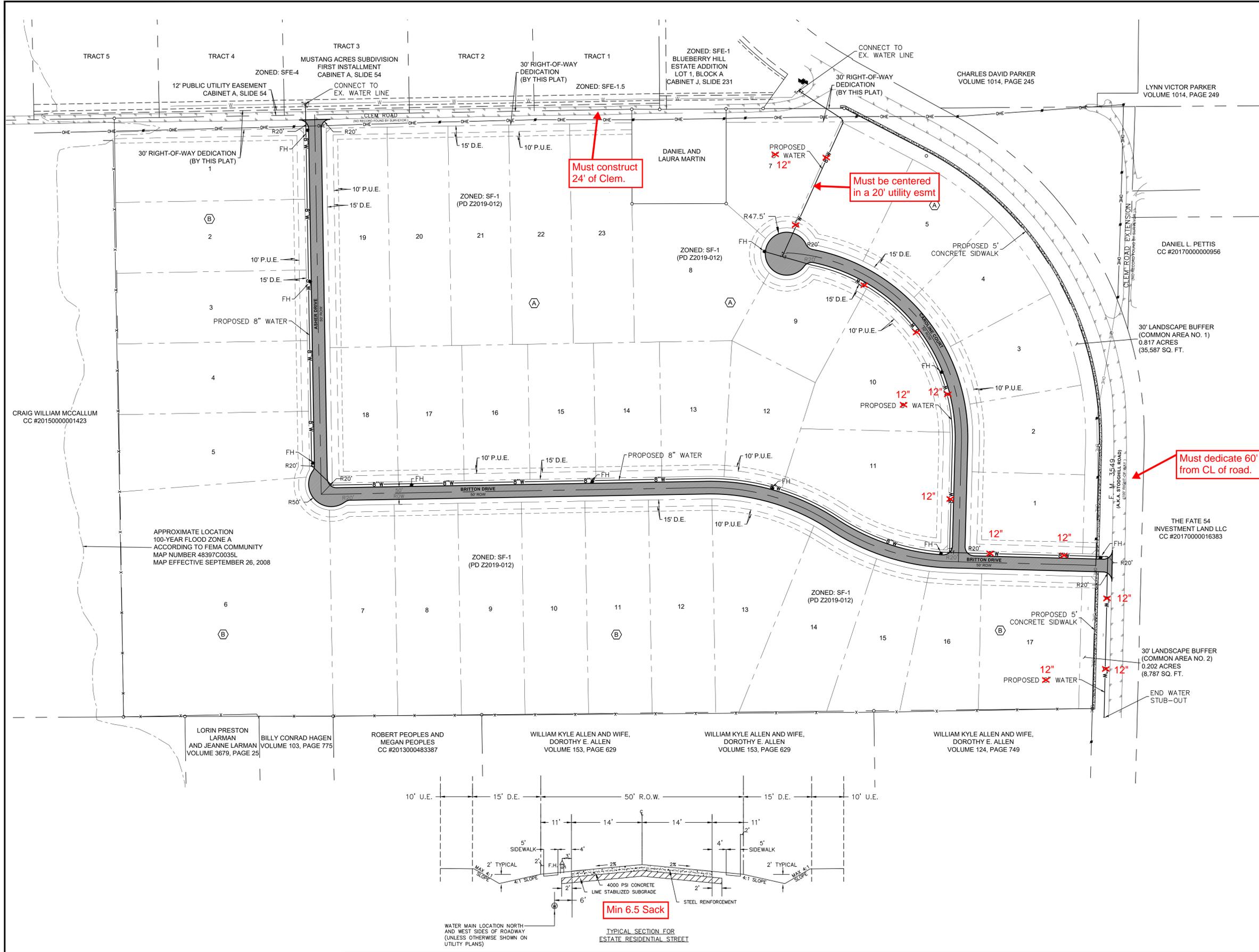
<b>Project Number</b>	SP2019-028	<b>Owner</b>	ROBERSON, COREY WAYNE			<b>Applied</b>	7/12/2019	LM
<b>Project Name</b>	Northgate	<b>Applicant</b>	MICHAEL JOYCE PROPERTIES			<b>Approved</b>		
<b>Type</b>	SITE PLAN					<b>Closed</b>		
<b>Subtype</b>						<b>Expired</b>		
<b>Status</b>	Staff Review					<b>Status</b>		
<b>Site Address</b>		<b>City, State Zip</b>				<b>Zoning</b>		
961 CLEM RD		ROCKWALL, TX 75087						
<b>Subdivision</b>		<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>		
		8		8	0072-0000-0008-00-OR			

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/12/2019	7/19/2019	7/15/2019	3	APPROVED	
ENGINEERING	Sarah Hager	7/12/2019	7/19/2019	7/25/2019	13	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(7/25/2019 1:34 PM SH) <ul style="list-style-type: none"> <li>- Must construct 24' of Clem Road.</li> <li>- Water line from 3549 to Caroline Court and back to 3549 must be 12".</li> <li>- Add a 20' easement for the water line to pass through lots 6 and 7 on Caroline Court.</li> <li>- Must dedicate 60' from the CL of 3549/stodgehill.</li> <li>- Concrete for residential roads to be 3600psi (6.5 sack mix).</li> </ul> <p>The following items are for your information for engineering design.</p> <ul style="list-style-type: none"> <li>- Need to show how driveways along Clem will meet 100' spacing</li> <li>- Clem is a curb and gutter street section...</li> </ul> <p>why is there a drainage esmt across front of lots along Clem?</p> <ul style="list-style-type: none"> <li>- 4% Engineering Fees</li> <li>- Impact Fees</li> <li>- Must be on septic systems. (will require council approval)</li> <li>- Check if on Mt. Zion water service list</li> <li>- Must complete 2nd hydrostatic test, and 1st bacteria tests</li> <li>- Clem Road must have 61' ROW, 41' back to back, and this project must construct 24'. (Curb &amp; Gutter)</li> <li>- FM 3549/ Stodgehill is to be 120' ROW must dedicate 60' form the centerline.</li> <li>- Wetlands/ WOTUS study for the pond to be removed</li> <li>- May need detention if the culvert under Clem does not have capacity for the storms. Unit hydrograph method will be needed for detention more than 20 acres</li> <li>- Must show all existing and proposed utilities</li> <li>- Retaining walls 3' and over must be designed by an engineer. All retaining walls to be rock or stone face. No smooth concrete walls.</li> <li>- Min easements is 20'. water, sewer, and storm lines must be have 10' of easements on both sides of the line.</li> <li>- No trees within 5' of utilities.</li> <li>- Must meet all city standards of design and construction.</li> </ul>	Ariana Hargrove	7/12/2019	7/19/2019	7/18/2019	6 APPROVED	
GIS (7/16/2019 3:44 PM LS) Please submit two new street names in place of ASHER DR and BRITTON DR due to conflicts in our area. Also submit cad .dwg file of street centerlines and lot lines (Include boundary closure report).	Lance Singleton	7/12/2019	7/19/2019	7/16/2019	4 COMMENTS	See comments
PLANNING	Korey Brooks	7/12/2019	7/19/2019			Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>P2019-029 Preliminary Plat for Northgate Subdivision Please address the following comments (M= Mandatory Comments; I = Informational Comments).</p> <p>I.1 This a request by Ryan Joyce of Michael Joyce Properties on behalf of Jen-Liang Wu of Unison Investment for the approval of a master plat for the Northgate Subdivision being a 61.45-acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, located at the southwest corner of the intersection of Stodgehill Road [FM-3549] and Clem Road.</p> <p>I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</p> <p>M.3 For reference, include the case number (P2019-029) in the lower right hand corner of all pages on future submittals.</p> <p>M.4 Please note landscape buffer requirements from PD ordinance. Landscape and Hardscape Standards.</p> <p>(1) Landscape. Landscaping shall be reviewed and approved with the PD Site Plan. All Canopy/Shade Trees planted within this development shall be a minimum of four (4) caliper inches in size and all Accent/Ornamental/Under-Story Trees shall be a minimum of four (4) feet in total height.</p> <p>(2) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).</p> <p>(a) Landscape Buffer and Sidewalks (FM-3549). A minimum of a 30-foot landscape buffer shall be provided along FM-3549 (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 30-foot landscape buffer adjacent to FM-3549.</p> <p>(b) Landscape Buffer and Sidewalks (Clem Road). A minimum 20-foot landscape buffer shall be provided</p> <p>M.5 Please provide lot mix chart.</p> <p>M.6 Please provide Block for each block. Currently, it cannot be determined which block a lot is located in.</p> <p>M.7 Please provide centerline for adjacent roadways (e.g. Clem Road and FM-3549).</p> <p>M.8 The preliminary plat should not have dedication language.</p> <p>M.9 The preliminary plat should include preliminary drainage plan and preliminary utility plan. Also, please ensure that all utilities are on the plat.</p> <p>M.10 It is possible to fit the entire plan on one page?</p> <p>M.11 The visibility triangles are difficult to see. Also, please see the Unified Development Code regarding the requirements.</p> <p>M.12 Please provide precise locations of entryway signage.</p> <p>M.13 Please provide vicinity map for concept plan.</p> <p>I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by August 6, 2019. The Planning and Zoning Worksession for this case is July 30, 2019. The Park Board Meeting for this case is August 6, 2019. The Planning and Zoning Meeting for this case is August 13, 2019.</p> <p>I.15 The projected City Council meeting date and subsequent approval for this request is August 19, 2019 and September 3, 2019.</p>						
<p>P2019-030 Master Plat for Northgate Subdivision Please address the following comments (M= Mandatory Comments; I = Informational Comments).</p> <p>I.1 This a request by Ryan Joyce of Michael Joyce Properties on behalf of Jen-Liang Wu of Unison Investment for the approval of a preliminary plat for the Northgate Subdivision containing 61 single-family residential lots on a 61.45-acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, located at the southwest corner of the intersection of Stodgehill Road [FM-3549] and Clem Road.</p>						

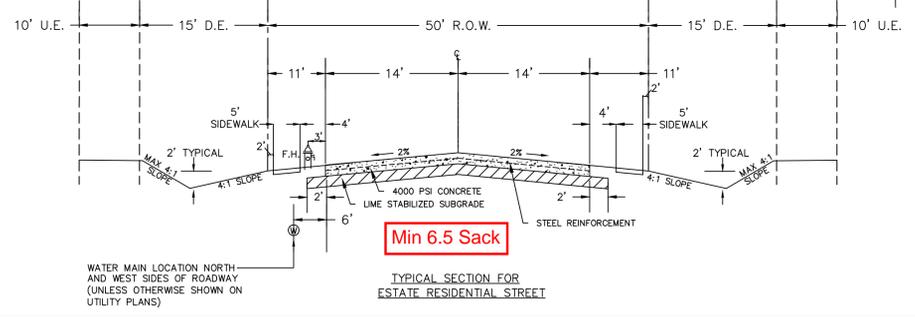
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
I.2						For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
M.3						For reference, include the case number (P2019-030) in the lower right hand corner of all pages on future submittals.
M.4						Please see comments above.
M.5						If this will be complete in phases, please indicate.
SP2019-028 Site Plan for Northgate Subdivision						
Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1						This is a request by Ryan Joyce of Michael Joyce Properties on behalf of Jen-Liang Wu of Union Investment for the approval of a site plan for the Northgate Subdivision being a 61.45-acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, located at the southwest corner of the intersection of Stodgehill Road [FM-3549] and Clem Road.
I.2						For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
M.3						For reference, include the case number (SP2019-028) in the lower right hand corner of all pages on future submittals.
M.4						Please note, Landscaping shall be reviewed and approved with the PD Site Plan. All Canopy/Shade Trees planted within this development shall be a minimum of four (4) caliper inches in size and all Accent/Ornamental/Under-Story Trees shall be a minimum of four (4) feet in total height.
(1)						Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
(c)						Landscape Buffer and Sidewalks (FM-3549). A minimum of a 30-foot landscape buffer shall be provided along FM-3549 (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 30-foot landscape buffer adjacent to FM-3549.
(d)						Landscape Buffer and Sidewalks (Clem Road). A minimum 20-foot landscape buffer shall be provided
(2)						Street Trees. Prior to issuance of a Certificate of Occupancy (CO), all residential single-family lots situated within the proposed subdivision shall be landscaped with canopy trees from the list stipulated by Section 7.1 of this ordinance in the following sizes and proportions:
(i)						Three (3), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of the required lots
(ii)						Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the rear yards of the required lots.
(iii)						Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the side yards facing the street.
(3)						Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
(4)						Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the PD Site Plan.
a.						Streets. All streets (excluding drives, fire lanes and private parking areas) shall be built according to the City's street standards as shown below in Figure 3 of the PD ordinance.
(5)						Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be permitted at all major and minor entry points for the proposed subdivision (shown in Figure %) of the PD ordinance. Final design and location of any entry features shall be reviewed and approved with the PD Site Plan. The developer shall provide enhanced landscaping areas within the Subject Property as generally depicted in Figure 4 of the PD Ordinance. The final design of these areas shall be provided on the PD Site Plan.



**LEGEND**

PROPOSED PAVEMENT  
 FIRE HYDRANT

- Need to show how driveways along Clem will meet 100' spacing
- Clem is a curb and gutter street section... why is there a drainage esmt across front of lots along Clem?
- 4% Engineering Fees
- Impact Fees
- Must be on septic systems. (will require council approval)
- Check if on Mt. Zion water service list
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- Wetlands/ WOTUS study for the pond to be removed
- May need detention if the culvert under Clem does not have capacity for the storms. Unit hydrograph method will be needed for detention more than 20 acres
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- Retaining walls 3' and over must be designed by an engineer. All retaining walls to be rock or stone face. No smooth concrete walls.
- Min easements is 20'. water, sewer, and storm lines must have 10' of easements on both sides of the line.
- No trees within 5' of utilities.
- Must meet all city standards of design and construction.



Min 6.5 Sack

**CAUTION! EXISTING UTILITIES**  
 CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**ENGINEERINGCONCEPTS & DESIGN, L.P.**

ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145  
 201 WINDCO CIR, STE 200, WYLIE, TX 75098  
 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:	
DRAWN: JD	DATE:
CHECKED: MA	DATE:
PROJECT NO.: 08838	
DWG FILE NAME: 08838 PP SITE PLAN.DWG	

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW AND BIDDING ONLY.



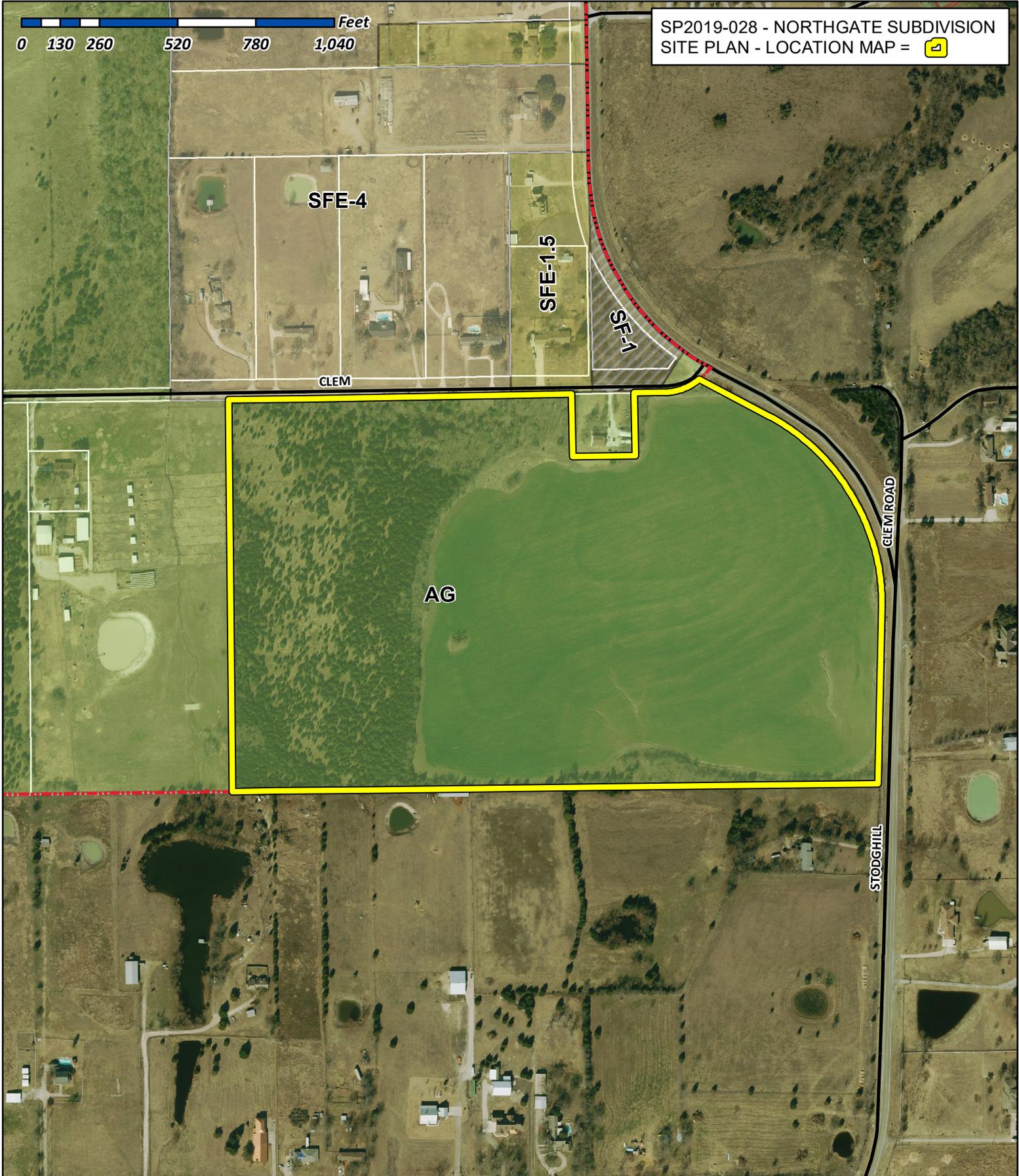
PRELIMINARY SITE PLAN  
 NORTHGATE  
 CITY OF ROCKWALL  
 DALLAS COUNTY, TEXAS

SHEET  
 01  
 OF  
 01

01/10/2020

0 130 260 520 780 1,040 Feet

SP2019-028 - NORTHGATE SUBDIVISION  
SITE PLAN - LOCATION MAP = 

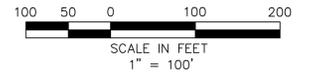
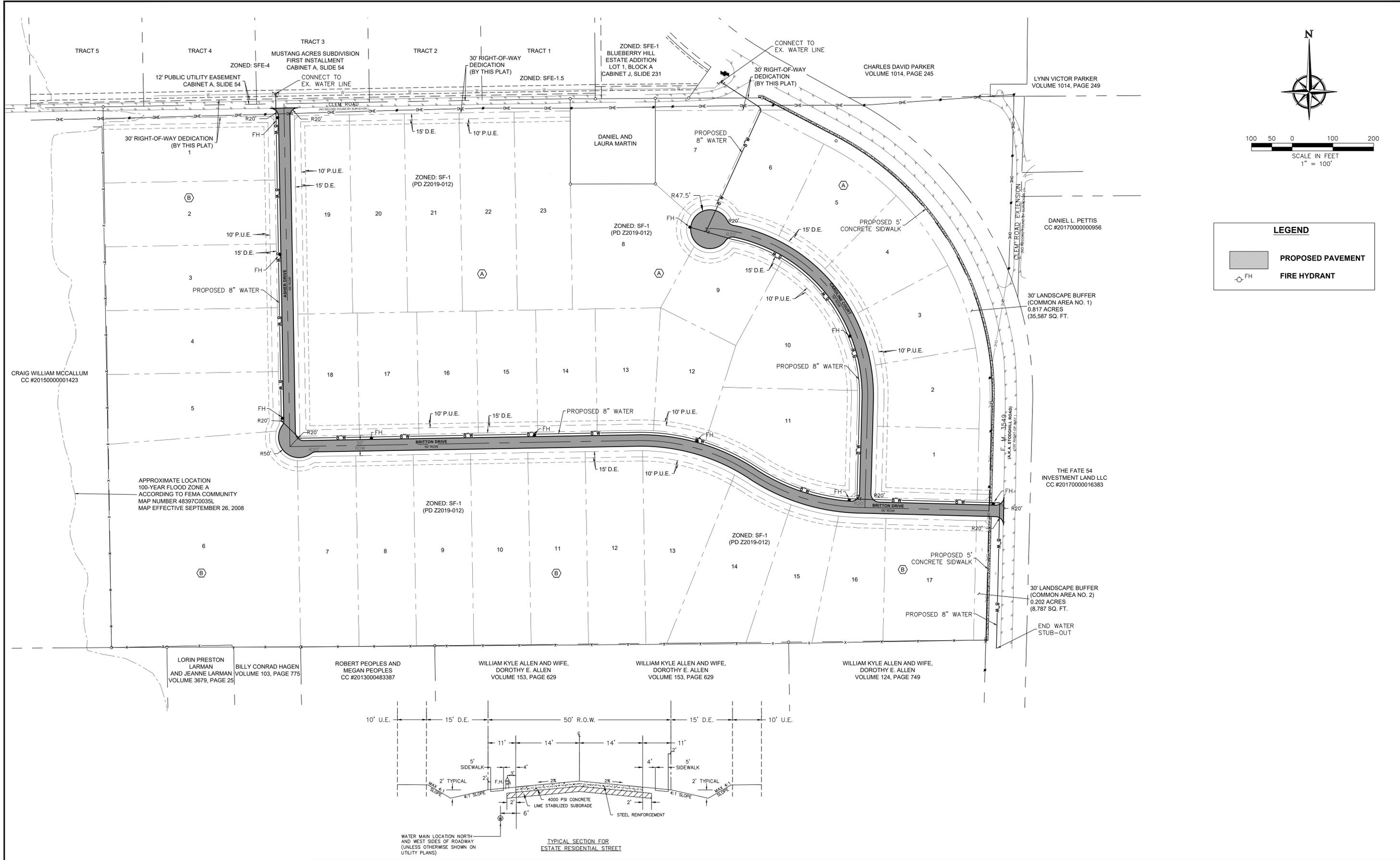


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

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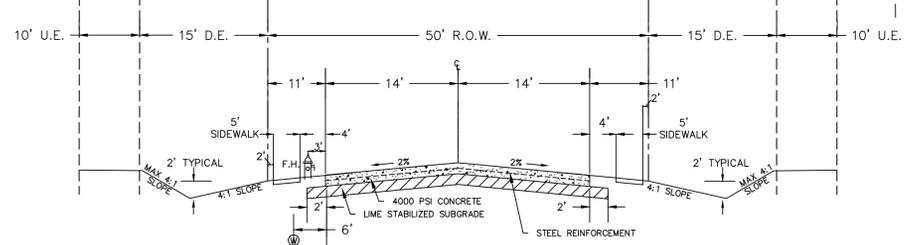




**LEGEND**

- PROPOSED PAVEMENT
- FIRE HYDRANT

APPROXIMATE LOCATION  
100-YEAR FLOOD ZONE A  
ACCORDING TO FEMA COMMUNITY  
MAP NUMBER 48397C0035L  
MAP EFFECTIVE SEPTEMBER 26, 2008



TYPICAL SECTION FOR  
ESTATE RESIDENTIAL STREET

**CAUTION! EXISTING UTILITIES**  
CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**ENGINEERINGCONCEPTS**  
& DESIGN, L.P.

ENGINEERING / PROJECT MANAGEMENT /  
CONSTRUCTION SERVICES - FIRM REG. #F-001145  
201 WINDCO CIR, STE 200, WYLIE, TX 75098  
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:	
DRAWN: JD	DATE:
CHECKED: MA	DATE:
PROJECT NO.: 08838	
DWG FILE NAME: 08838 PP SITE PLAN.DWG	

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THE PURPOSE OF INTERIM REVIEW AND BIDDING  
ONLY.



PRELIMINARY SITE PLAN  
NORTHGATE  
CITY OF ROCKWALL  
DALLAS COUNTY, TEXAS

**City of Rockwall**  
**Project Plan Review History**



<b>Project Number</b> SP2019-029	<b>Owner</b> MCCORD, SHANNON	<b>Applied</b> 7/12/2019 LM
<b>Project Name</b> 501 S. Goliad Street	<b>Applicant</b> MICHAEL BAUSCH	<b>Approved</b>
<b>Type</b> SITE PLAN		<b>Closed</b>
<b>Subtype</b>		<b>Expired</b>
<b>Status</b> P&Z HEARING		<b>Status</b> 7/26/2019 DG

<b>Site Address</b> 501 S GOLIAD	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
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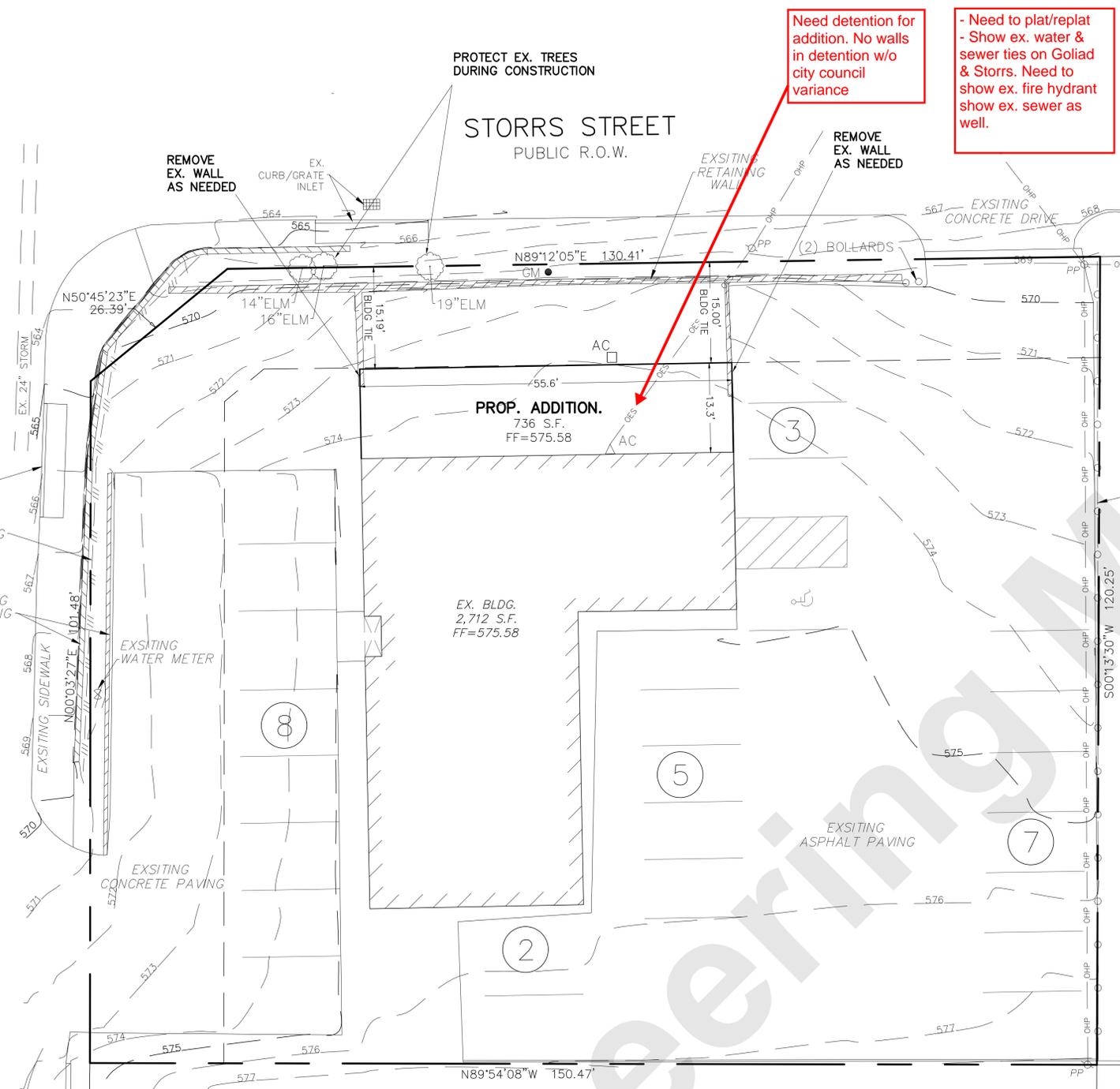
<b>Subdivision</b> CARABAJAL	<b>Tract</b> C	<b>Block</b> 117	<b>Lot No</b> C	<b>Parcel No</b> 3140-0117-000C-00-OR	<b>General Plan</b>
---------------------------------	-------------------	---------------------	--------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/12/2019	7/19/2019	7/15/2019	3	APPROVED	
ENGINEERING	Sarah Hager	7/12/2019	7/19/2019	7/25/2019	13	COMMENTS	(7/25/2019 1:57 PM SH) - Need to have detention for the additional impervious area. - No walls are allowed in detention without a City Council variance. - Need to plat/replat - Show ex. water & sewer ties on Goliad & Storrs. Need to show ex. fire hydrant show ex. sewer as well.
FIRE	Ariana Hargrove	7/12/2019	7/19/2019	7/18/2019	6	COMMENTS	(7/18/2019 4:36 PM AA) Fire hydrant coverage is required for the new construction. Existing fire hydrants to be considered for the use shall be indicated on the plans.
GIS	Lance Singleton	7/12/2019	7/19/2019	7/16/2019	4	APPROVED	
PLANNING	David Gonzales	7/12/2019	7/19/2019	7/23/2019	11	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Discuss and consider a request by Michael Bausch on behalf of the owner for the approval of a site plan for an addition to an existing General Personal Service business (i.e. Jour Salon and Spa) on a 4.211-acre tract of land identified as Lot C, Block 117, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, addressed as 501 S. Goliad Street, and take any action necessary.</p> <p>PLANNING AND ZONING 1ST ROUND STAFF COMMENTS(07.23.2019):</p> <p>The following staff comments are to be addressed and resubmitted no later than Tuesday August16, 2019. Please provide two (2) large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:</p> <p>** Planning Department General Comments &amp; Requirements to address/acknowledge:</p> <ol style="list-style-type: none"> <li>1. Adherence to the Unified Development Code (UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required</li> <li>2. Submittal and approval of a Civil Engineering Plans, and Final Plat prior to issuance of a Certificate of Occupancy(CO).</li> <li>3. Label all revised site plan documents with "Case No. SP2019-029" at the lower right corner of each plan.</li> </ol> <p>EXCEPTIONS FOR THE PLANNING AND ZONING COMMISSION TO CONSIDER:</p> <ol style="list-style-type: none"> <li>1. To allow for allow for not meeting the minimum20% stone requirement for all facades</li> <li>2. To allow for not meeting the horizontal articulation standards</li> <li>3. To allow for the rear elevation to exceed50% cementitious lap siding (? need exterior materials calculations for determination?).</li> </ol> <p>** Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:</p> <p>Site Plan:</p> <ol style="list-style-type: none"> <li>1. Provide a minimum of one (1), three (3)-inch canopy tree for each 50-ft linear feet of frontage (i.e. two trees minimum).</li> <li>2. Correct Site Data Table as follows <ol style="list-style-type: none"> <li>a. Front setback = 15-feet (this is a double frontage lot).</li> <li>b. Side setback = 10-feet</li> </ol> </li> <li>c. Zoning - General Retail (GR) District Building Elevations: <ol style="list-style-type: none"> <li>1. See all exception being requested based on submittal at top of report</li> <li>2. Requires a recommendation from the Architectural Review Board(ARB) to the Planning and Zoning Commission for approval</li> <li>3. Provide exterior material calculations (i.e. brick, stone, lap siding).</li> <li>4. What is the existing lap siding material? What materials are being used for the lap siding? A cementitious fiber board is required for all lap siding being used</li> <li>5. A minimum 20% stone is required on all building facades.</li> </ol> </li> </ol> <p>** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>Meeting Dates to Attend</p> <p>Architectural Review Board- July 30, 2019 (5:00 p.m.) [ARB to provide comments]</p>						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Planning - Work Session: July 30, 2019 (6:00p.m.) [Applicant to present/discuss project]						
Architectural Review Board- August 13, 2019 (5:00 p.m.) [ARB to provide recommendation]						
Planning - Action: August 13, 2019 (6:00p.m.) [P&Z to take action(i.e. approve, approve with conditions, deny)]						
Police Department	David Gonzales	7/22/2019	7/29/2019	7/22/2019	COMMENTS	See comments
(7/22/2019 10:48 AM DG)						
Comments provided by Captain Ed Fowler - Rockwall Police Department.						
SP2019-029 501 South Goliad Street						
Considerations for New Construction Component:						
<ul style="list-style-type: none"> <li>• Placing shrubs that provide area denial capability (e.g. thorns) and are natural to the area under windows on the left side (North) and window on the far left window on the front side (West) of the building.</li> <li>• Alarms: Glass break sensors on all windows, door alarms and alarm on safe room and safe if applicable. Interior motion sensors for alarm system.</li> <li>• Ground wash lighting placed along the exterior of the building for aesthetics and lighting on all sides of the building to eliminate shadows, hiding spots and to illuminate exterior windows (potential entry points). In addition, exterior lights placed on the eaves at the center of building could be moved to the ends of the building. This along with the ground wash lighting would provide appropriate lighting coverage. Lighting should comply with City of Rockwall Code.</li> <li>• Parking lot lighting should be considered if clients/employees will be working late.</li> <li>• Window Tint/Laminate</li> <li>• Tree and bush standards appear to be within specifications.</li> <li>• Install cameras on corners and interior of building along with all doors being equipped with alarms, the interior equipped with proximity alarms and glass break sensors on the windows.</li> <li>• Consider a panic alarm system for employees who may be working late and/or are alone at the business.</li> </ul>						
Disclaimer: No CPTED recommendations can positively ensure or guarantee a crime-free environment.						

S. GOLIAD STREET  
VARIABLE WIDTH R.O.W.

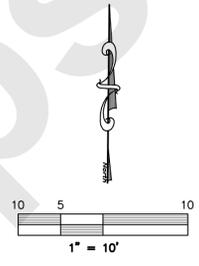


STORRS STREET  
PUBLIC R.O.W.

Need detention for addition. No walls in detention w/o city council variance

- Need to plat/replat - Show ex. water & sewer ties on Goliad & Storrs. Need to show ex. fire hydrant show ex. sewer as well.

- GENERAL NOTES**
- Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
  - Fire lanes shall be designed and constructed per city standards.
  - Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
  - Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
  - All signage contingent upon Building Inspection Department approval.
  - Approval of the site plan is not final until all engineering plans are approved.
  - Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
  - Please contact the Building Inspection Department to determine the type of construction and occupancy group.
  - All electrical transmission, distribution and service lines must be underground.



**SITE DATA:**

**LOT AREA:**  
0.41 Acres, 17,769 sq. ft.

**LOT COVERAGE:**  
EX 15.3%  
PROP 19.4%

**FLOOR TO AREA RATIO:**  
EX 6.55:1  
PROP 5.15:1

**BUILDING AREA:**  
EXISTING: 2,712 SQ.FT.  
PROPOSED: 736 SQ.FT.  
TOTAL: 3,448 SQ.FT.

**BUILDING HEIGHT:**  
20' max

**BUILDING SETBACKS:**  
Front = 20'  
Side Street = 15'  
Rear & Side = none

**PROPOSED USE:**  
Hair Salon & Spa

**IMPERVIOUS AREA (including buildings):**  
31,131 sq.ft.

**ZONING:**  
R-RETAIL

**PARKING:**  
Required:  
1 space/250 (3448/250) = 14  
Handicapped = 1  
Provided:  
Standard = 24  
Handicapped = 1  
Total Provided = 25

**LANDSCAPE AREA:**  
Required: 2,665 sq.ft. (15%)  
Provided: 2,733 sq.ft. (15.38%)

**FIRE SPRINKLER:**  
NO

\* THERE ARE EX BUILDINGS ON THIS SITE

**LEGEND**

- = PROPERTY LINE
- EX. W- = EX. WATER LINE
- EX. SS- = EX. SANITARY SEWER LINE
- (S) = EX. SS MANHOLE
- (WV) = EX. WATER VALVE
- (PP) = EX. POWER POLE
- (TB) = EX. TELEPHONE BOX
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- (FH) = EX. FIRE HYDRANT
- (FPH) = PROPOSED FIRE HYDRANT
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- ESMNT. = EASEMENT
- LS = LANDSCAPE
- BC = BACK OF CURB
- B-B = BACK OF CURB TO BACK OF CURB

CRAIG MERRITT  
INST. NO. 20170000016401

DRAINAGE AREA CALCULATIONS										
DESIGN POINT ID	RUNOFF COEF.	AREA "A" Acres	TOTAL "CA" Acres	Time of Concentration (Mn.)	Intensity 110yr in/hr	Discharge Q 10yr cfs	Intensity 1100yr in/hr	Discharge Q 100yr cfs	Comments	
1	0.9	1	0.410	0.37	15.00	6.42	2.37	7.52	2.77	to existing storm inlets
<b>Developed</b>									DRAINAGE AREA CALCULATIONS	
DESIGN POINT ID	RUNOFF COEF.	AREA "A" Acres	TOTAL "CA" Acres	Time of Concentration (Mn.)	Intensity 110yr in/hr	Discharge Q 10yr cfs	Intensity 1100yr in/hr	Discharge Q 100yr cfs	Comments	
1	0.9	1	0.41	0.37	10.00	6.42	2.37	8.82	3.25	to existing storm inlets
<b>Net Increase</b>								<b>0.48</b>		

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



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C. STEPHEN BAXTER & SHAWN RENAE BAXTER  
INST. NO. 20190000003588

**\*\* NOTICE TO CONTRACTORS \*\***

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY CBG SURVEYING TEXAS, INC. OF DALLAS, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

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CASE #:

**SITE PLAN**

**THE JOUR SALON & SPA ADDITION**

501 S. GOLIAD ST  
Tract of land situated in the  
N.M. BALLARD SURVEY, Abstract 48  
0.41 ACRES  
City of Rockwall, Rockwall County, Texas

owner:  
**SHANNON RIDDEL**  
972-979-0866  
Shannon@titletipsboutique.com

prepared by:  
**MONK CONSULTING ENGINEERS**  
1200 W. State Street, Garland Texas 75040  
972-272-1763 Fax 972-272-8761

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PROJECT NO.: 2019-09 REG. NO.: F-2567

date: 7/9/19 scale: 1"=10' sheet: C101

0 15 30 60 90 120 Feet

SP2019-029 - 501 S. GOLIAD STREET  
SITE PLAN - LOCATION MAP = 

LAKE MEADOWS

DT

STORRS

GOLIAD

GOLIAD

GR

KENWAY

SF-7



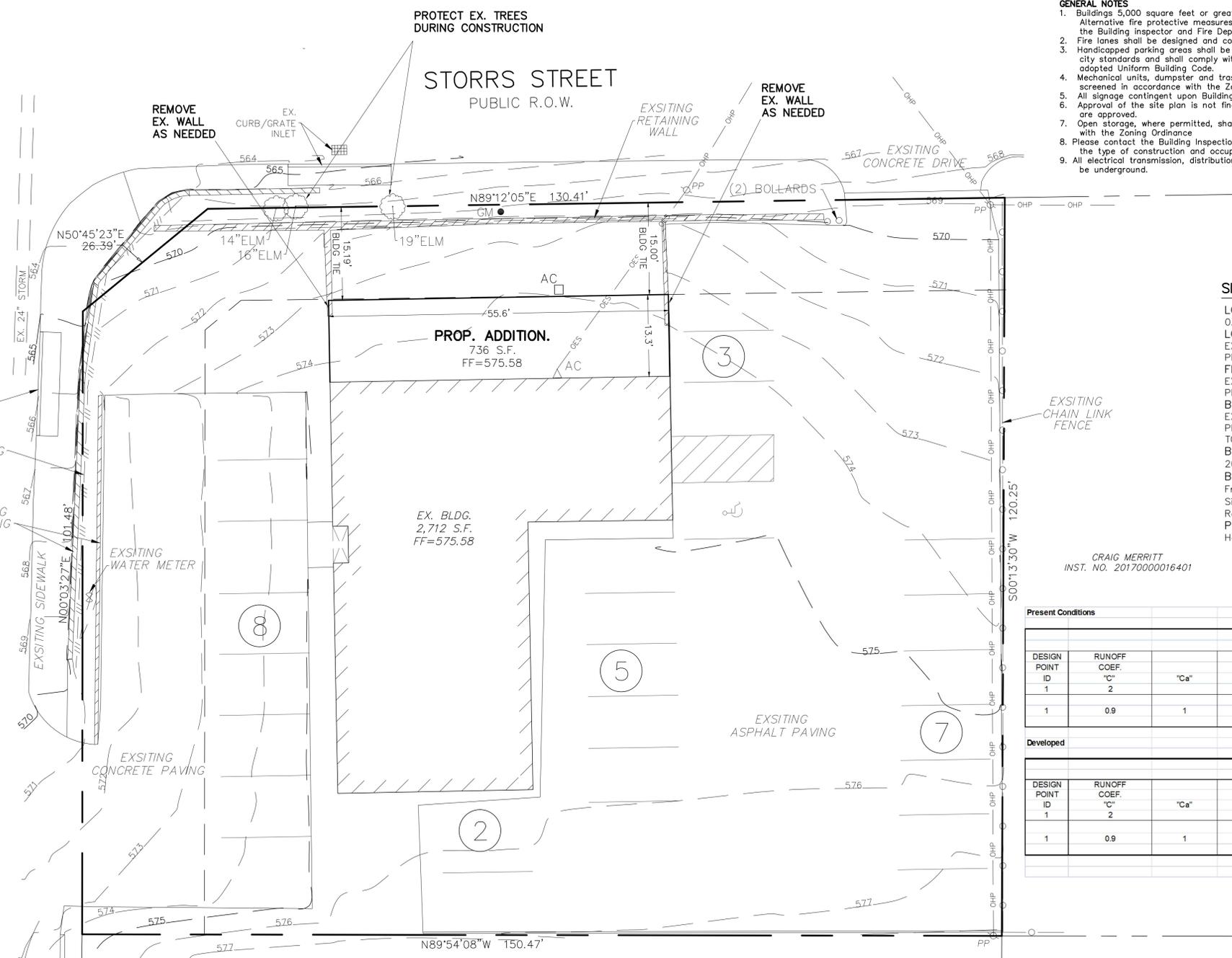
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



S. GOLIAD STREET  
VARIABLE WIDTH R.O.W.



PROTECT EX. TREES  
DURING CONSTRUCTION

STORRS STREET  
PUBLIC R.O.W.

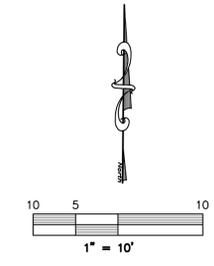
REMOVE  
EX. WALL  
AS NEEDED

REMOVE  
EX. WALL  
AS NEEDED

PROP. ADDITION.  
736 S.F.  
FF=575.58

EX. BLDG.  
2,712 S.F.  
FF=575.58

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CRAIG MERRITT  
INST. NO. 20170000016401

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C. STEPHEN BAXTER &  
SHAWN RENAE BAXTER  
INST. NO. 20190000003588

LOT 1, BLOCK A  
CARABAJAL ADDITION  
VOL. G, PG. 116

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Tract of land situated in the  
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0.41 ACRES  
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owner:  
**SHANNON RIDDEL**  
972-979-0866  
Shannon@tletipsyboutique.com

prepared by:  
**MONK CONSULTING ENGINEERS**  
1200 W. State Street, Garland Texas 75040  
972-272-1763 Fax 972-272-8761

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PROJECT NO.: 2019-09 REG. NO.: F-2567

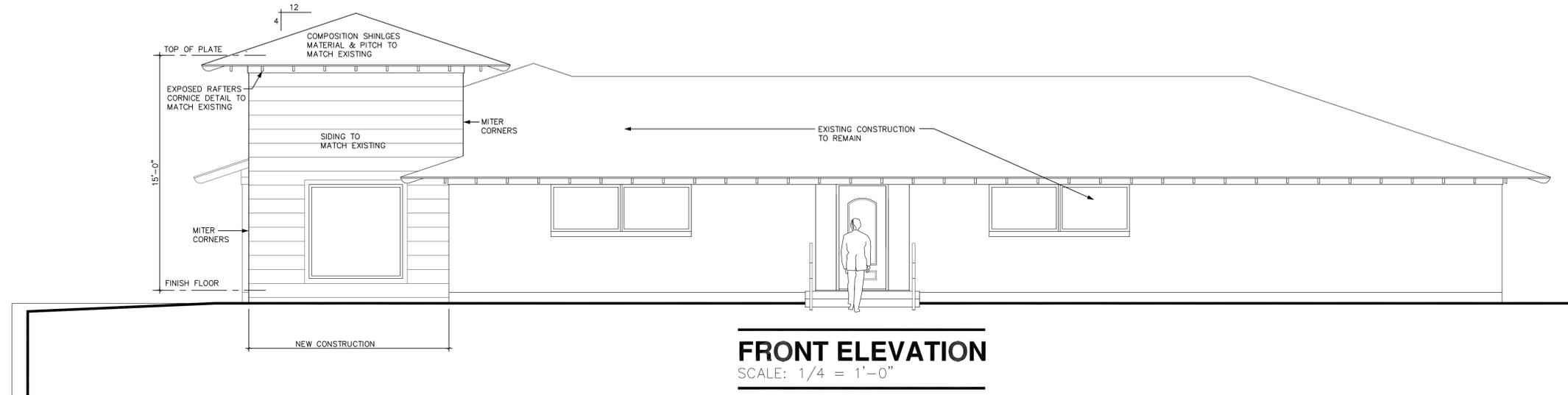
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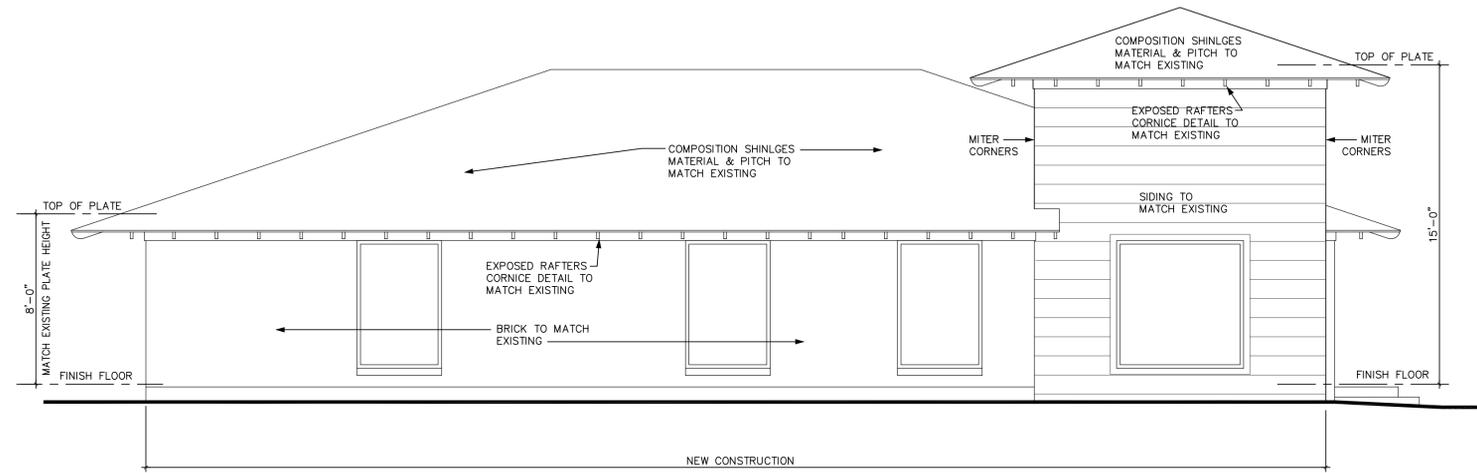
**MICHAEL BAUSCH**  
ARCHITECTS

4318 ROSSER SQUARE  
DALLAS, TEXAS 75244

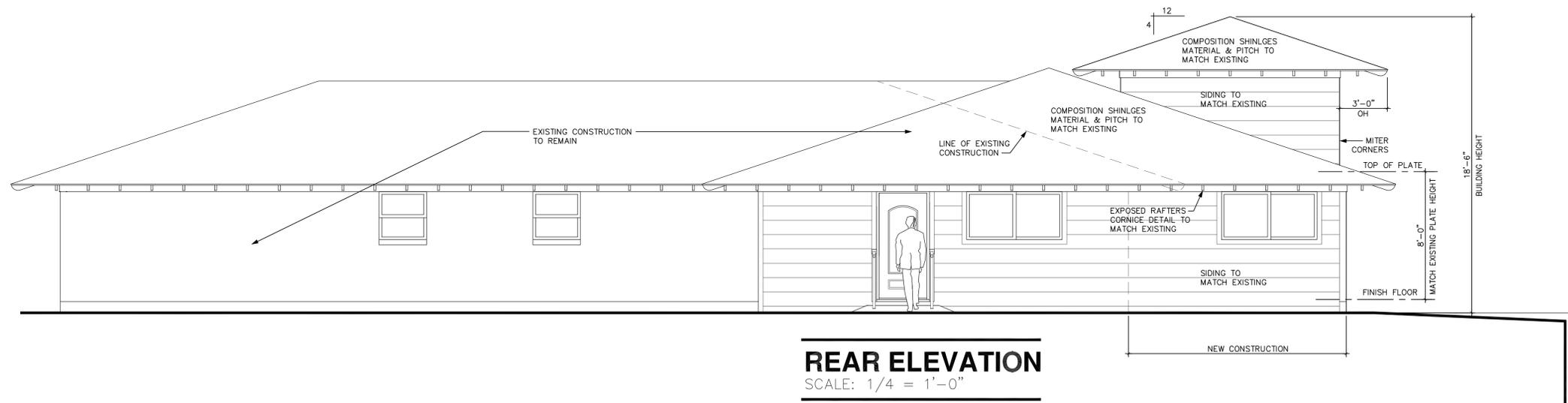
214.395.7688



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

**AN ADDITION & RENOVATIONS TO THE JOUR SALON & SPA**

501 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087

Tract of land situated in the  
N. M. BALLARD SURVEY  
ABSTRACT 48

CASE #:

**BUILDING ELEVATIONS**

**THE JOUR SALON & SPA  
ADDITION**

501 S. GOLIAD ST  
Tract of land situated in the  
N.M. BALLARD SURVEY, Abstract 48  
0.41 ACRES  
City of Rockwall, Rockwall County, Texas

owner:  
SHANNON RIDDEL  
972.979.0866  
Shannon@littletipsyboutique.com

prepared by  
MICHAEL BAUSCH ARCHITECT  
4318 Rosser Square, Dallas, Texas 75244  
214.395.7688

date: 7/10/19 scale: 1/4"=1'-0" sheet: A101